



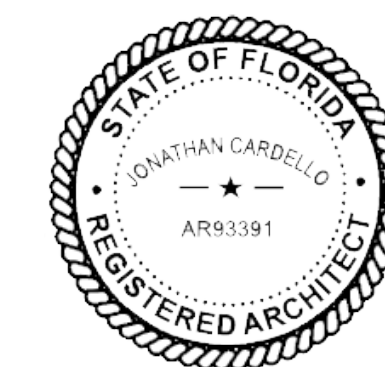
Miami River Commission

Riverside Wharf

114, 200, 236, 298 SW River Dr.
& 300 SW 2nd St.

Miami, Florida 33130

Submitted: 08 December 2021



Submitted to: City of Miami | Miami 21

Owner: MV REAL ESTATE HOLDINGS LLC.
Architect: CUBE 3, LLC
Landscape: Savino & Miller

Project Team

Owner:



MV Real Estate Holdings LLC
123 SW North River Drive
Miami, Florida 33130

Architect:



CUBE3, LLC
111 SW 3rd Street, Fourth Floor
Miami, Florida 33130
Contact: Jonathan W. Cardello
Telephone: 305.968.8527

Legal:



Greenberg Traurig
333 SE 2nd Avenue
Suite 4400
Miami, FL 33131

Landscape:



Savino & Miller Design Studio
12345 NE 6th Avenue
Suite A
Miami, FL 33161

General Notes

- At time of building permit, provide the required irrigation plan
- At time of building permit, comply with all UDRB conditions
- At time of building permit, provide proof of registration with the Green Building Certification Institute, or equal agency
- At time of building permit, provide a LEED Scorecard, or equivalent document, identifying anticipated credits to be achieved.

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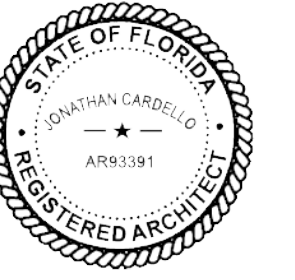
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RIVERSIDE WHARF
Miami, Florida

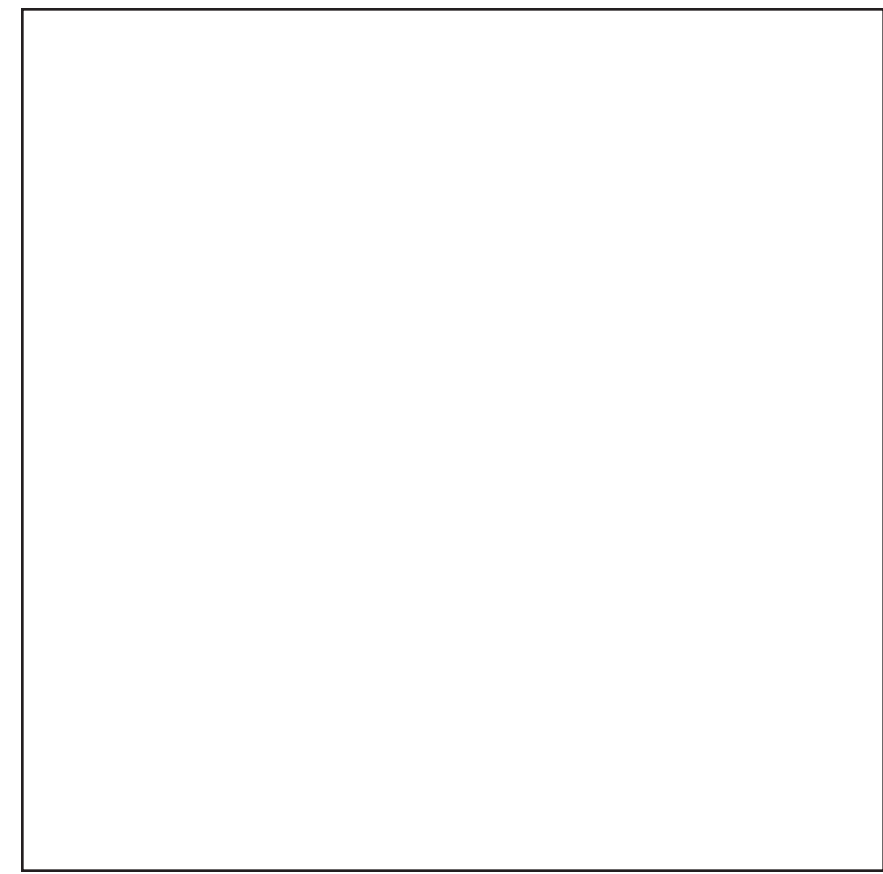
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MRC Submission
08 December 2021

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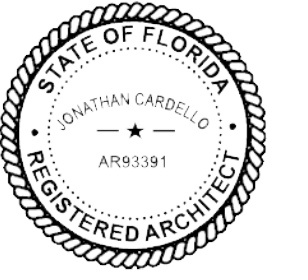
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**RIVERSIDE
WHARF**
Miami, Florida

Site

MRC Submission
08 December 2021

G-00

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BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 1, LESS THE NORTH 15 FEET, OF EAST RIVERSIDE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 43, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA

AND
 LOT 2, EXCEPT THE SOUTH 57.6 FEET OF EAST RIVERSIDE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, AT PAGE 43, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; LESS RIGHT OF WAY OF STATE ROAD NO. 9, ACCORDING TO RIGHT OF WAY MAP IN PLAT BOOK 83, PAGE 21 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA AND LESS BEGIN AT THE NORTH LINE OF SAID LOT 2, AT A POINT 115.06 FEET NORTH 87°43'34" EAST FROM THE NORTHWEST CORNER THEREOF, THENCE NORTH 87°43'34" EAST 109.25 FEET ALONG THE NORTH LINE OF SAID LOT 2 TO THE NORTHEASTLY CORNER THEREOF, THENCE SOUTH 35°31'26" EAST 122.57 FEET ALONG THE NORTHEASTLY LINE OF SAID LOT 2, THENCE SOUTH 87°43'34" WEST 203.70 FEET, THENCE NORTH 12°36'47" EAST 106.07 FEET TO THE POINT OF BEGINNING.

CONTAINING 31,917.82 SQ. FT. or 0.73 ACRES +/-.

ADDRESS OF PROPERTY: 236/298/300 SW North River Drive

SURVEYOR'S REPORT:

OWNERSHIP IS SUBJECT TO OPINION OF TITLE.

EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

THIS BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND TO CHAPTER 5F-17 OF THE F.A.C.

LEGAL DESCRIPTION TAKEN FROM WARRANTY DEED IN O.R.B. 9004-1353 AND O.R.B. 9211-0069. LEGAL DESCRIPTION OF LESS OUT PORTION TO THE SOUTH SHOWS A DISTANCE OF 57.6 FEET (O.R.B. 9211-0069). THE DEED FOR THAT PORTION TO THE SOUTH SHOWS SAID DISTANCE AS 57 1/2 FEET (O.R.B. 19224-2387), AS SHOWN IN OUR SURVEY.

BEARINGS SHOWN HEREON ARE BASED ON THE SYSTEM AS SHOWN ON THE RIGHT OF WAY MAP SECTION 87270-2425, AS RECORDED IN PLAT BOOK 83, PAGE 21 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALONG THE MONUMENT LINE OF SW NORTH RIVER DRIVE, WHICH BEARS 535°31'26"E.

ELEVATIONS ARE RELATIVE TO THE CITY OF MIAMI DATUM AND ARE BASED ON A CITY OF MIAMI BENCH MARK, THE SAME BEING A PK NAIL AND BRASS WASHER SET IN THE CONCRETE CURB, IN THE NORTHEAST CORNER OF THE INTERSECTION OF S.W. 2ND AVENUE AND S.W. 2ND STREET, ELEVATION 11.282 (CITY OF MIAMI DATUM) OR 11.02 (1929 (N.G.V.D.)) (F.B. 84 PG.70).

THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE AE, ELEVATION 9 FEET, PURSUANT TO THE FLOOD INSURANCE RATE MAPS PUBLISHED BY THE UNITED STATES FEDERAL EMERGENCY MANAGEMENT AGENCY UNDER COMMUNITY NUMBER 120630 UNINCORPORATED AREAS, CITY OF MIAMI, PANEL NO. 12086C0314L, DATED SEPTEMBER 11, 2009.

THESE MEASUREMENTS AND EXAMINATIONS WERE PERFORMED UNDER MY DIRECT SUPERVISION AND IN MY PROFESSIONAL JUDGEMENT, EVERY ATTEMPT WAS MADE TO LOCATE THE DATA IN QUESTION USING THE STANDARD OF CARE FOR SURVEYING AND MAPPING IN THESE MATTERS, SUBJECT TO THE LIMITATIONS AS SET FORTH IN THIS SURVEY MAP AND REPORT.

THE SURVEY MAP IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALES IN ENGLISH UNITS OF MEASUREMENT AS DEPICTED ON THE SURVEY MAP ATTENTION IS DIRECTED TO THE FACT THAT SAID SURVEY MAP MAY BE ALTERED IN SCALE BY REPRODUCTION AND MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

SINCE NO OTHER INFORMATION OTHER THAN WHAT IS CITED IN THE SOURCES OF DATA WERE FURNISHED, THE CLIENT IS HEREBY ADVISED THAT THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE SURVEY MAP OR CONTAINED WITHIN THIS REPORT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR. THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP OR POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

NO EXCAVATION WAS MADE AS TO SHOW THE SUBJECT PROPERTY IS SERVED BY UTILITIES SUBSURFACE UTILITIES, INCLUDING, BUT WITHOUT LIMITATION TO PIPES, WIRES, VAULTS, BOXES, DRAIN TILES, VOIDS, CABLES AND OTHER MATERIALS ANCILLARY TO THE DELIVERY AND/OR DISPOSAL OF WATER, WASTEWATER, SEWAGE, ELECTRICITY, GAS, TELEPHONE SERVICE, CABLE TELEVISION OR AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT PHYSICALLY LOCATED OTHER SUBSURFACE STRUCTURES AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED UNLESS OTHERWISE SHOWN ON THE SURVEY MAP OR ACCOUNTED FOR IN THE PRECEDING STATEMENT OF THIS SECTION THIS NOTICE IS REQUIRED BY THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO RULE 5F-17 OF THE FLORIDA ADMINISTRATIVE CODE.

DISPOSITION TABLE INCLUDED IN THIS SURVEY WAS PREPARED BY ARBORIST, FURNISHED BY THE CLIENT AND INCLUDED HEREON AS REQUESTED.

DATE OF SURVEY: 05/20/2019, 10/15/2020, 11/18/2020

DISPOSITION TABLE

236 SW N. RIVER DRIVE, MIAMI FL 33130

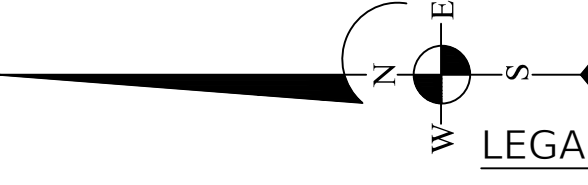
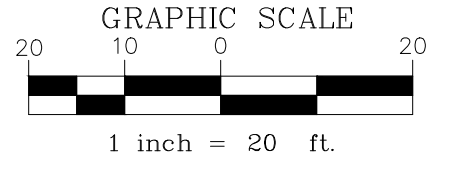
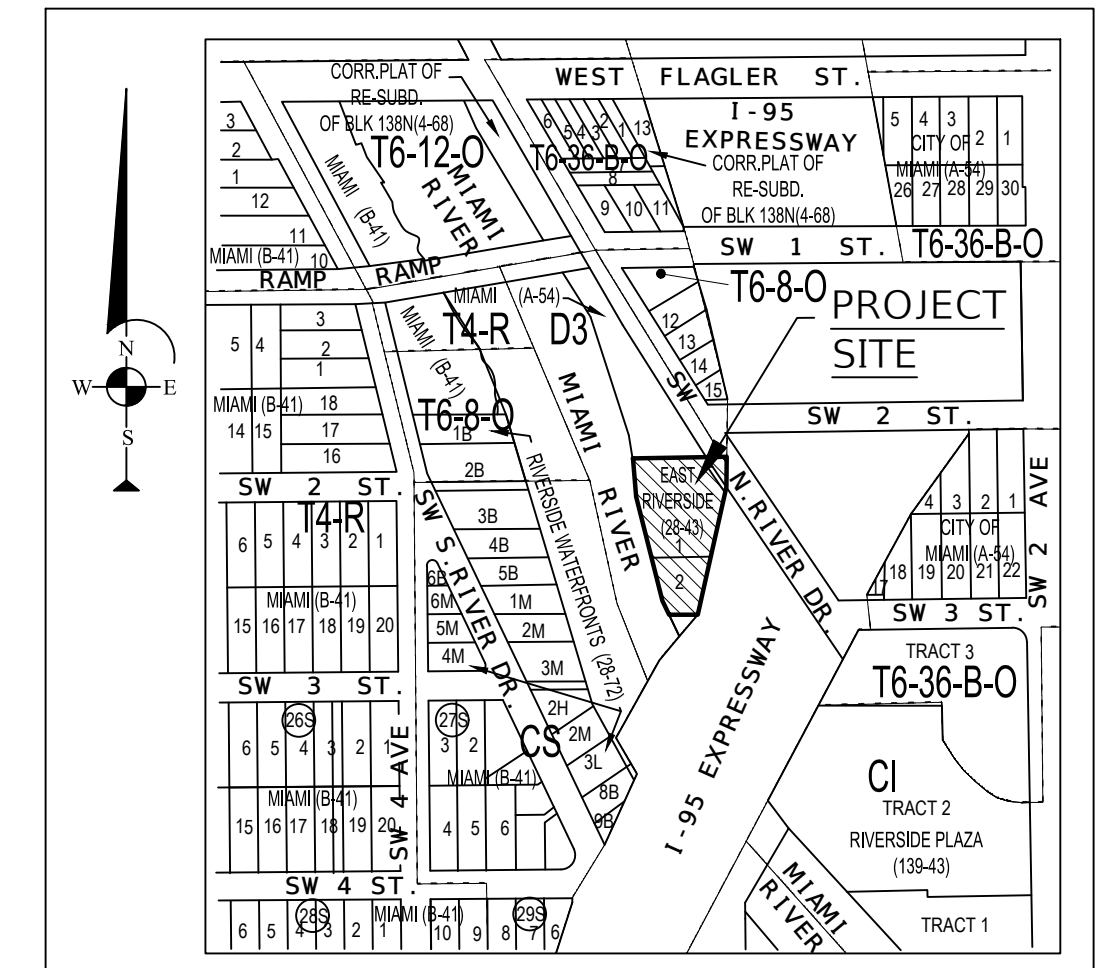
No.	BOTANICAL NAME	COMMON NAME	DBH (inch)	HEIGHT (ft)	SPREAD (ft)	Condition	CRZ (ft)	TPZ (ft)	Disposition	Notes
1	<i>Leucaena leucocephala</i>	River Tamarind	9	30	35	Poor	NA	NA	Remove	Prohibited species
2	<i>Ficus aurea</i>	Strangler Fig	29	30	45	Poor/hazard	NA	NA	Remove	Hazard - significant decay in trunk and canopy
3	<i>Schinus terebinthifolia</i>	Brazilian Pepper	7	18	20	Poor	NA	NA	Remove	Prohibited species
4	<i>Schinus terebinthifolia</i>	Brazilian Pepper	14	20	20	Poor	NA	NA	Remove	Prohibited species
5	<i>Schinus terebinthifolia</i>	Brazilian Pepper	10	12	12	Poor	NA	NA	Remove	Prohibited species
6	<i>Schinus terebinthifolia</i>	Brazilian Pepper	7	25	25	Poor	NA	NA	Remove	Prohibited species
7	<i>Leucaena leucocephala</i>	River Tamarind	7	15	15	Poor	NA	NA	Remove	Prohibited species
8	<i>Ficus benjamina</i>	Weeping Fig	11	25	25	Fair	NA	NA	Remove	Prohibited species
9	<i>Leucaena leucocephala</i>	River Tamarind	5	15	12	Fair	NA	NA	Remove	Prohibited species
10	<i>Cocos nucifera</i>	Coconut	8	15	10	Fair	3	3	Remain	Street tree
11	<i>Swietenia mahogany</i>	Mahogany	12	30	30	Fair	10	10	Remain	Street tree
12	<i>Swietenia mahogany</i>	Mahogany	14	35	40	Fair	12	12	Remain	Street tree
13	<i>Swietenia mahogany</i>	Mahogany	12	20	30	Poor-Fair	10	10	Remain	Street tree
14	<i>Swietenia mahogany</i>	Mahogany	16	35	40	Fair	12	12	Remain	Street tree
15	<i>Swietenia mahogany</i>	Mahogany	14	30	40	Fair	12	12	Remain	Street tree
16	<i>Swietenia mahogany</i>	Mahogany	7	25	20	Poor	10	10	Remain	Street tree
17	<i>Swietenia mahogany</i>	Mahogany	13	40	40	Fair	12	12	Remain	Street tree
18	<i>Swietenia mahogany</i>	Mahogany	11	35	35	Fair	10	10	Remain	Street tree

LEGEND:

- ⊕ WATER VALVE
- ⊕ WATER VALVE
- ⊕ TELEPHONE MANHOLE
- ⊕ SINGLE SUPPORT SIGN
- ⊕ MANHOLE (UNKNOWN)
- ⊕ POWER POLE
- ⊕ POWER POLE
- ⊕ CENTER LINE
- ⊕ MONUMENT LINE
- ⊕ SANITARY MANHOLE
- ⊕ ELEVATION

LINE TYPE:

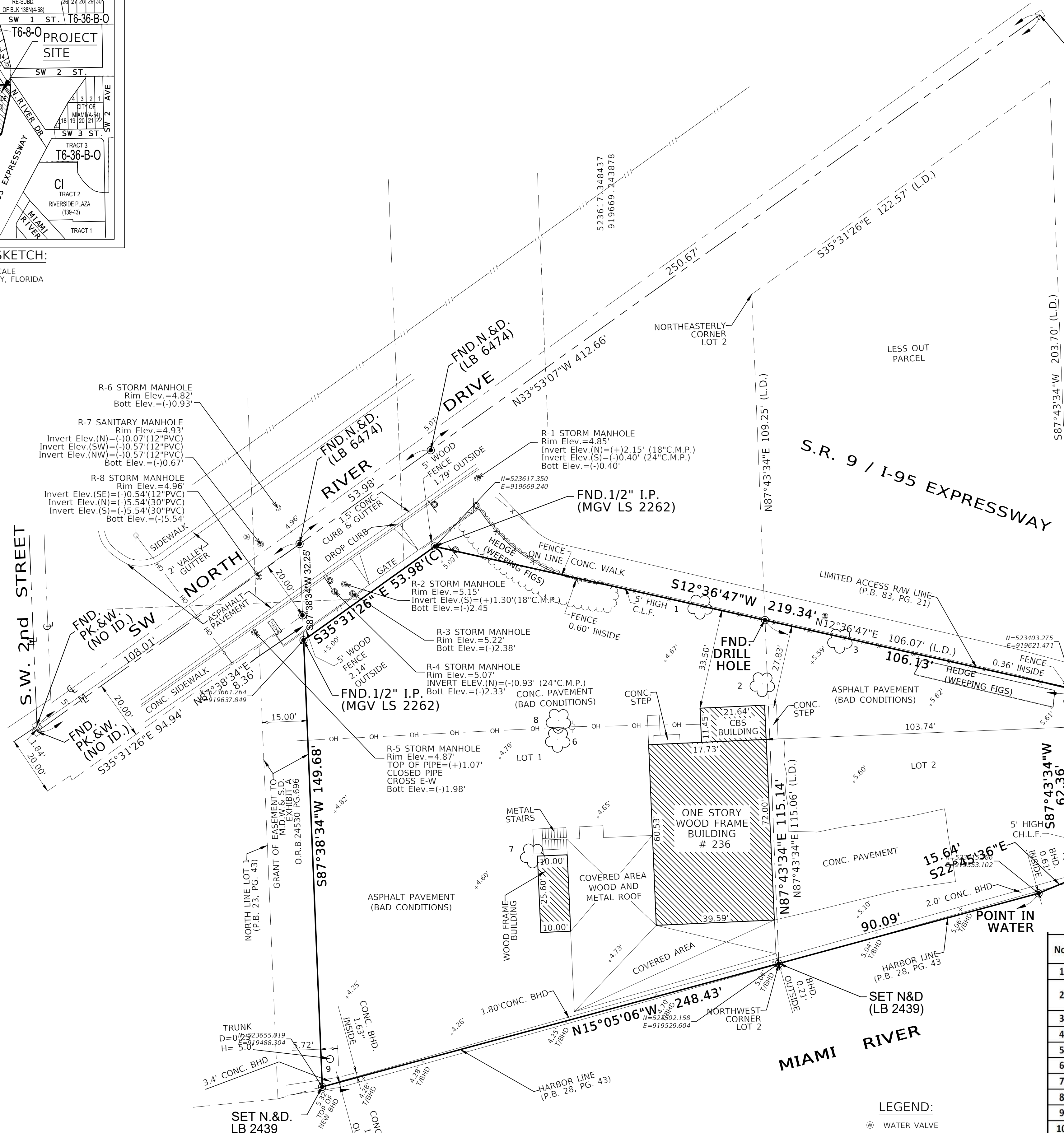
- LOT LINE
- LIMITED ACCESS R/W LINE
- OVERHEAD LINE
- CHAIN LINK FENCE
- CENTER LINE
- RIGHT OF WAY LINE



ABBREVIATIONS:

- CMP = CORRUGATED METAL PIPE
- PVC = POLYMERIZING VINYL CHLORIDE
- C.B.S. = CONCRETE BLOCK STUCCO
- FND. = FOUND
- I.D. = IDENTIFICATION
- I.P. = IRON PIPE
- NSD = NAIL & DISC
- PK. = PARKER KALON
- T.B.M. = TEMPORARY BENCH MARK
- N & W = NAIL AND WASHER
- D.H. = DRILL HOLE
- PL. = PLANTER OR LANDSCAPED AREA
- W.F. = WOOD FENCE
- F.F. = FINISHED FLOOR
- BHD = BULKHEAD
- T/BHD = ELEVATION ON TOP OF BULKHEAD
- MAINT. = MAINTENANCE
- ESMT. = EASEMENT
- M.D.W. & S.D. = MIAMI DADE WATER & SEWER DEPARTMENT
- BOTT. = BOTTOM
- P.B. = PLAT BOOK
- PG. = PAGE
- ELEV. = ELEVATION
- LB. = LICENSED BUSINESS
- N.T.S. = NOT TO SCALE
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- CONC. = CONCRETE
- SWK = SIDEWALK
- R/W = RIGHT-OF-WAY
- C.L.F. = CHAIN LINK FENCE
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- (D) = DEED
- (C) = CALCULATED
- (L.D.) = LEGAL DESCRIPTION
- O.R.B. = OFFICIAL RECORDS BOOK

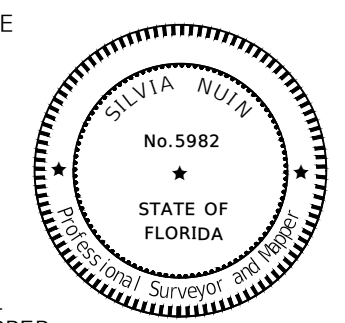
FOR TREES 10-18 SEE SHEET 2



CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SILVIA NUIN PSM No. 5982
 MANUEL G. VERA & ASSOCIATES INC. L.B.2439
 STATE OF FLORIDA



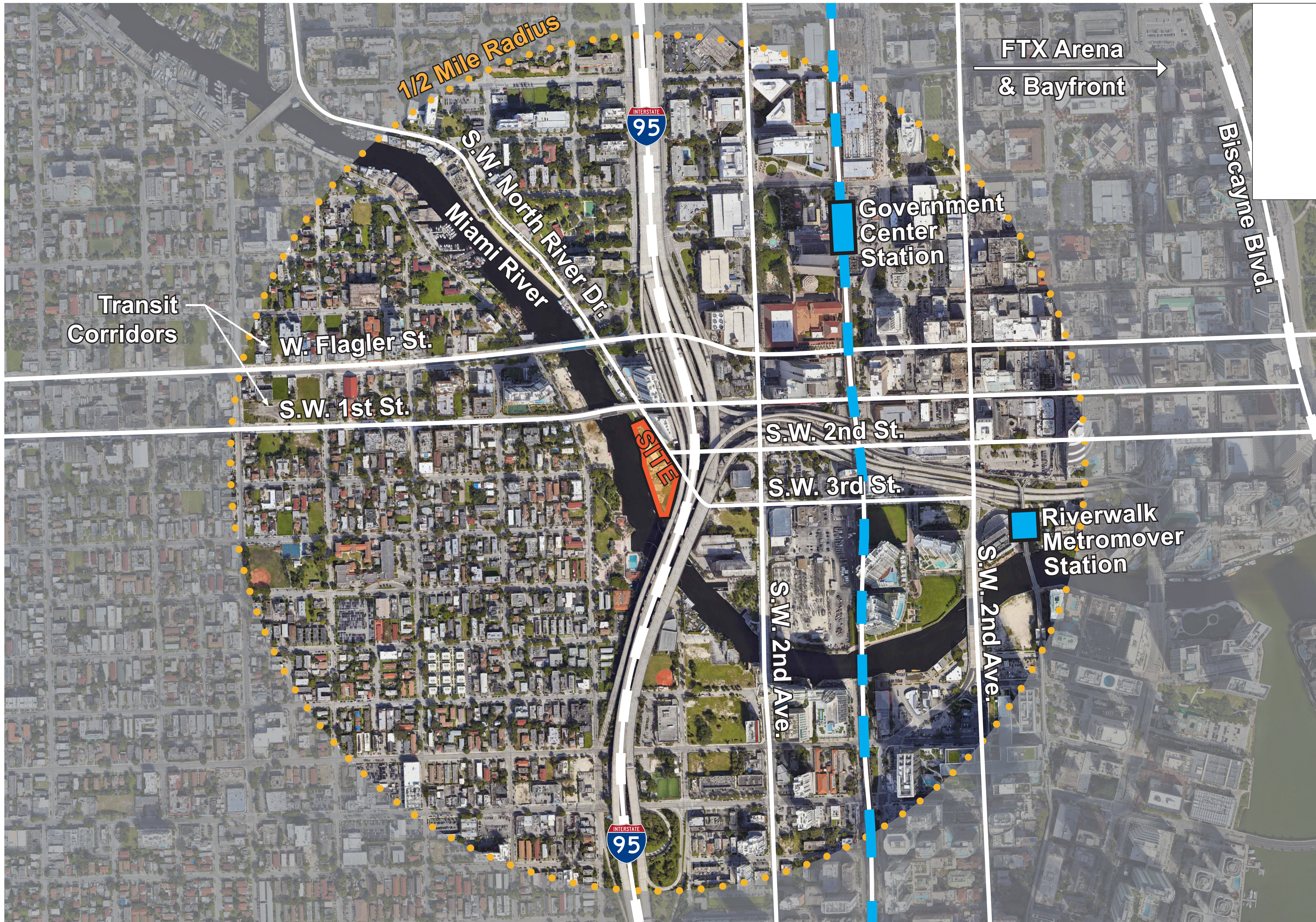
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SHEET 2 OF 2

DATE	UPDATE SURVEY	INCLUDE TREE LIST PROVIDED BY CLIENT	INCLUDE DIGITAL SIGNATURE (NOT AN UPDATE)
05/21/2019			
11/19/2020			
05/12/2021			

BOUNDARY SURVEY
 of
 PORTION OF LOT 1 & 2.
 P.B. 28, PG. 43
 CITY OF MIAMI, FLORIDA

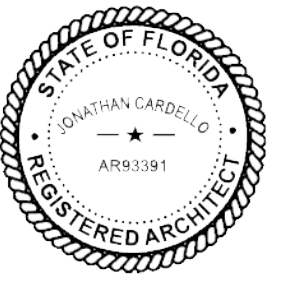
MANUEL G. VERA & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • MAPPERS
 13960 SW 47th Street • Miami, FL 33175 • Phone (305)221-6210
 P.O. BOX 650578 • Miami, FL 33265 • Fax (305)221-1295
 • www.mgvera.com



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Jonathan W. Cardello, AIA
 FL License No. AR93391



RIVERSIDE WHARF
 Miami, Florida

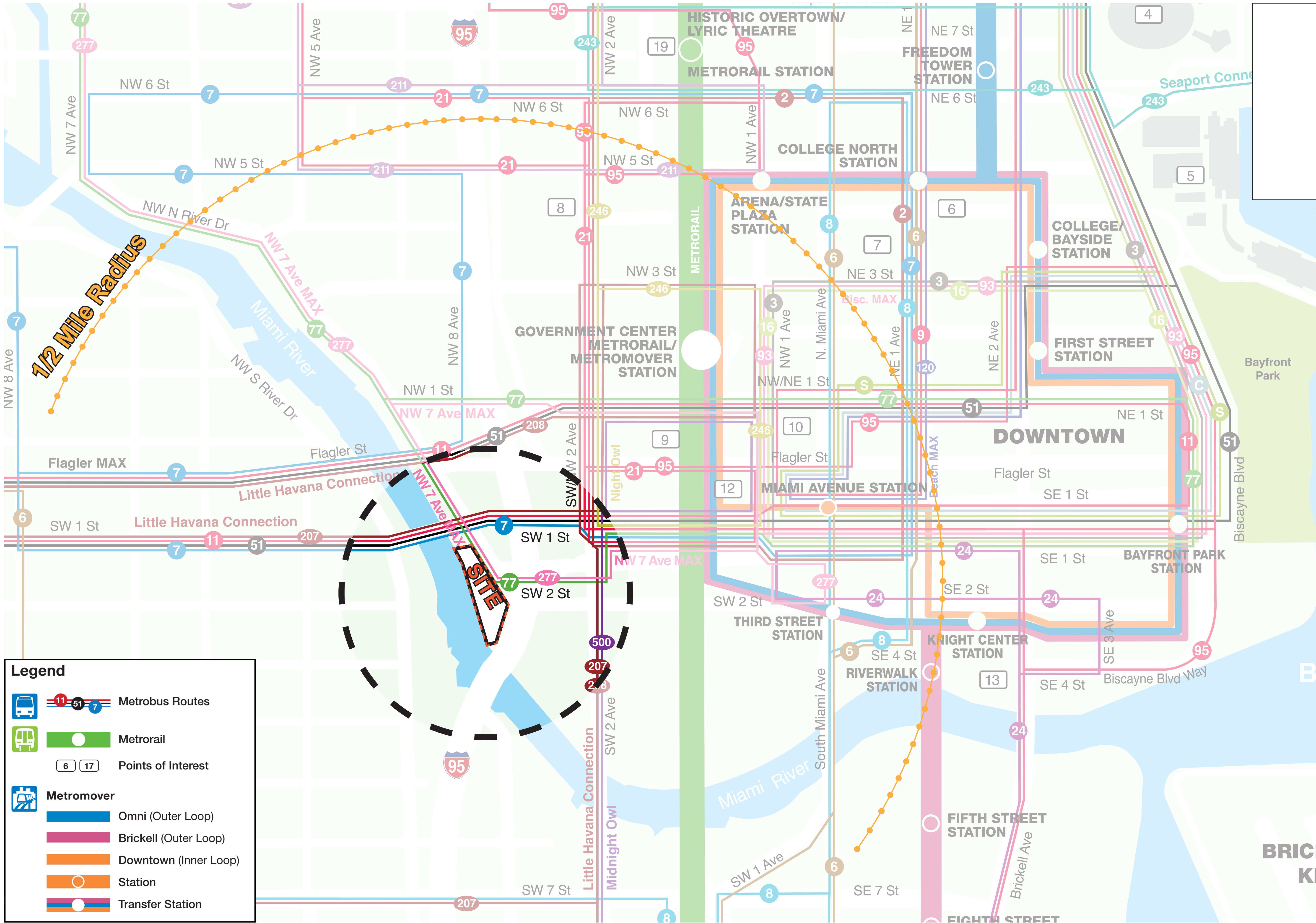
Location Map
 Not to Scale



MRC Submission
 08 December 2021

G-01

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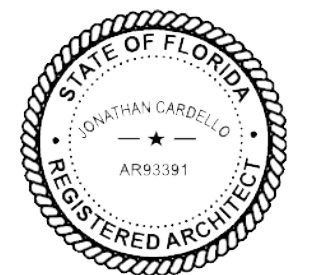


Legend

- Metrobus Routes
- Metrorail
- Points of Interest
- Metromover**
 - Omni (Outer Loop)
 - Brickell (Outer Loop)
 - Downtown (Inner Loop)
 - Station
 - Transfer Station

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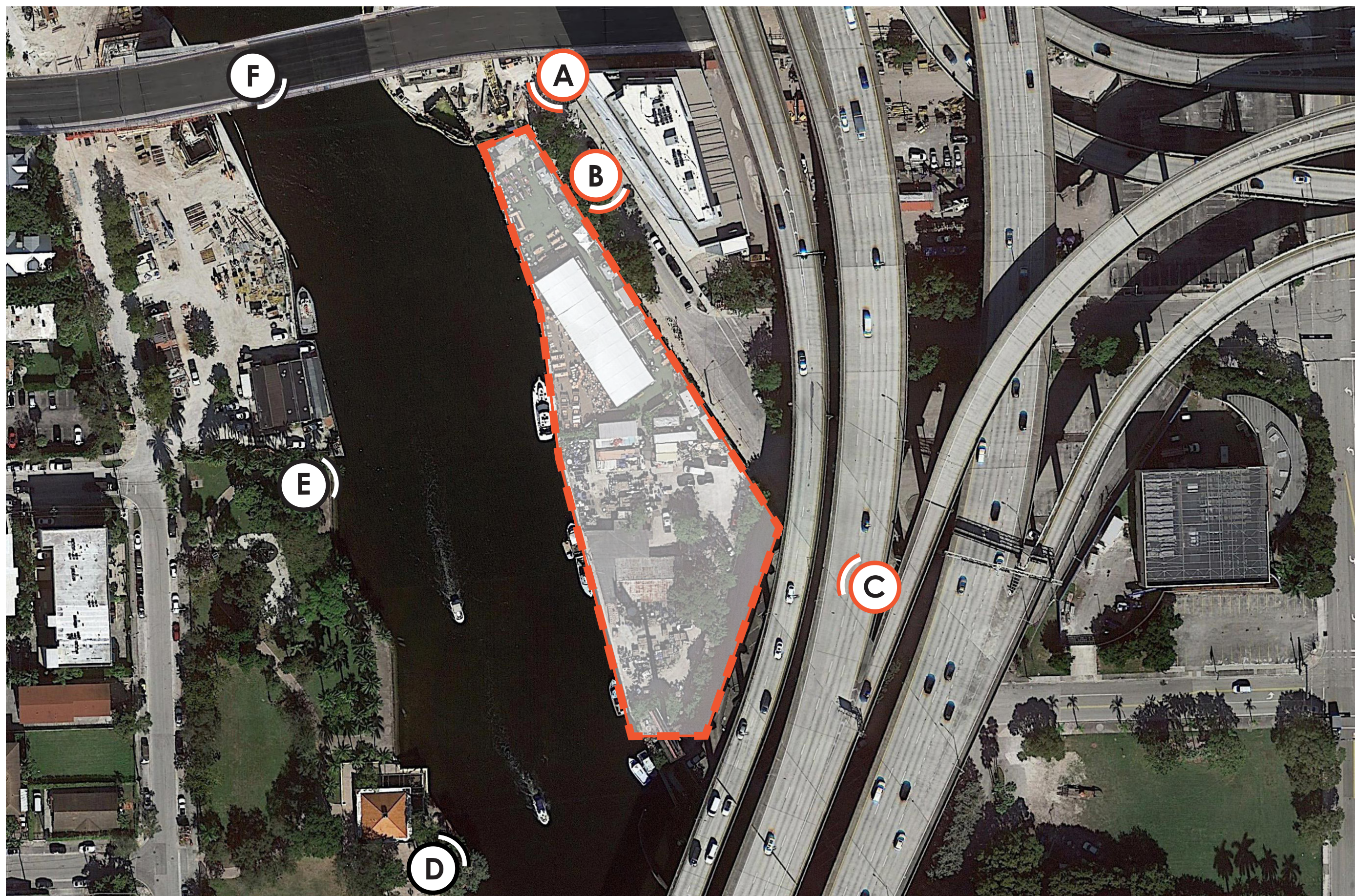
Transit Map
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G-02

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F Keyplan



A View A - Looking West from North River Drive



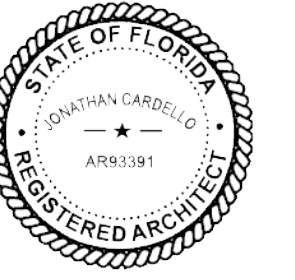
B View B - Looking SouthW North River Drive & SW 2nd St.



C View C - Looking NE SW on North River Drive from underneath I-95

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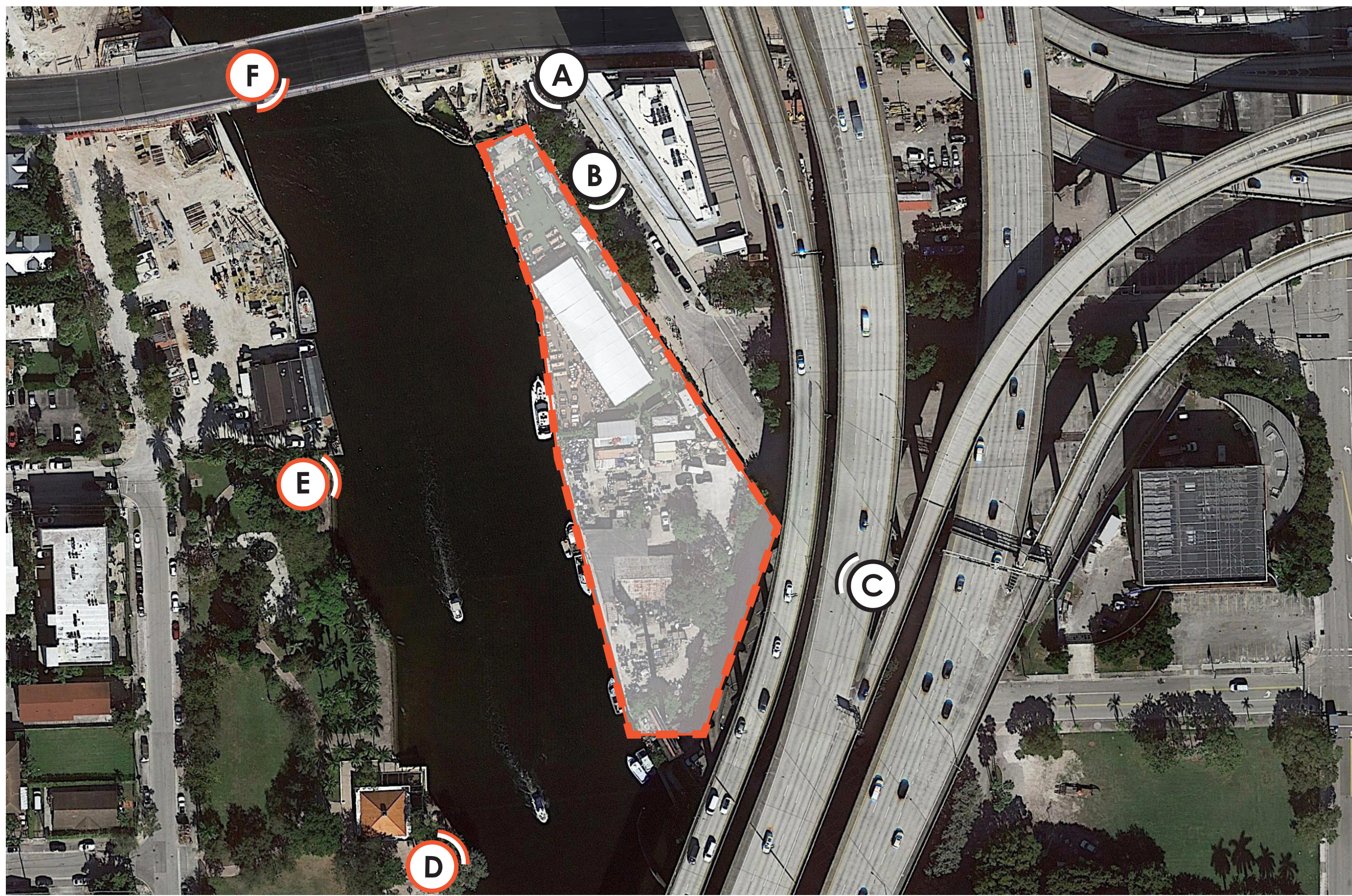
Keyed Site Photos
 Not to Scale



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G-03

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F Keyplan



D View A - From Jose Marti Park across the Miami River



E View B - From Jose Marti Park across the Miami River

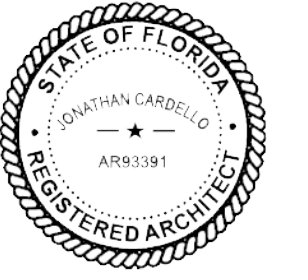


F View C - Looking from Bridge on SW 1st St.

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**RIVERSIDE
WHARF**
Miami, Florida

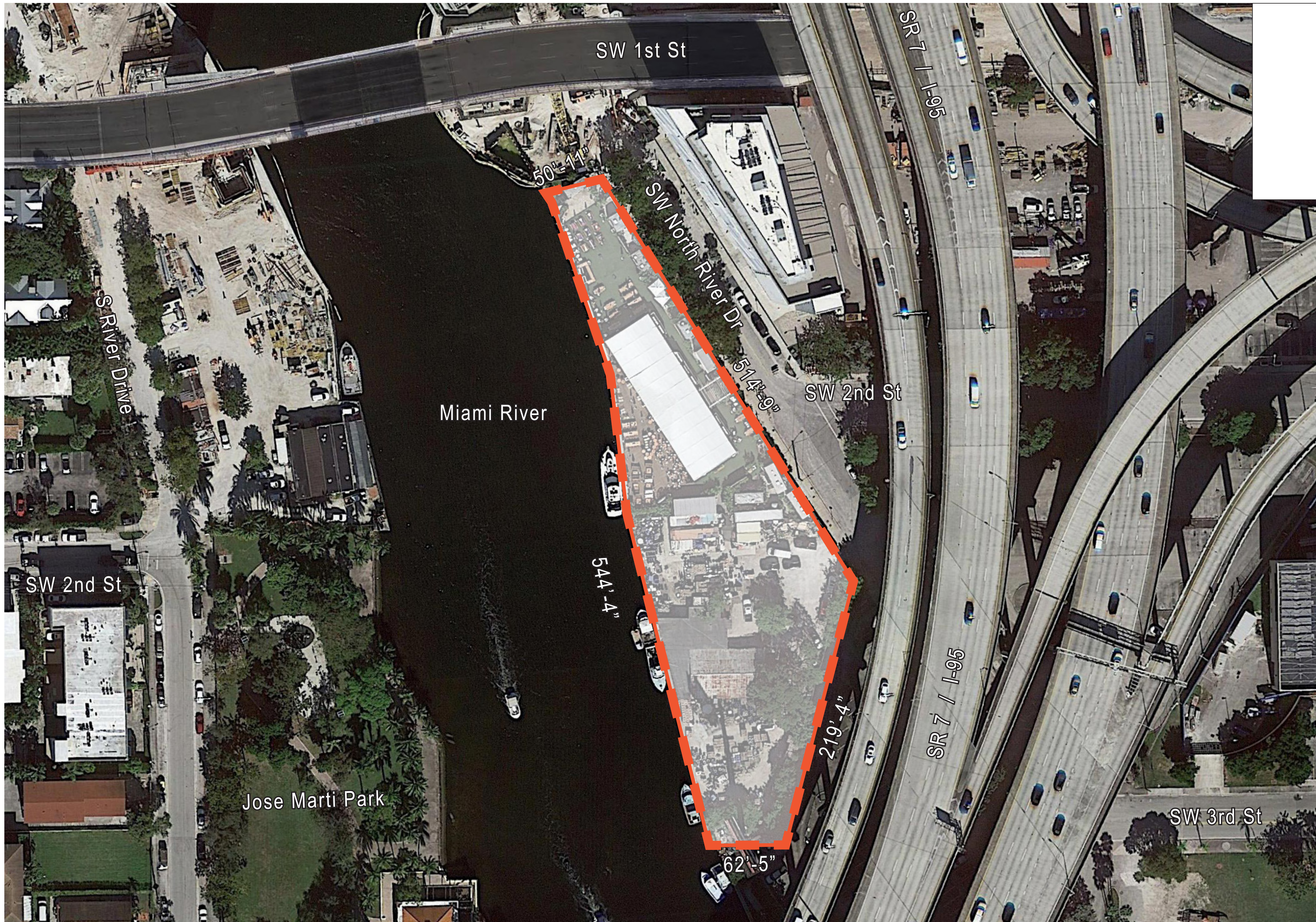
Keyed Site Photos
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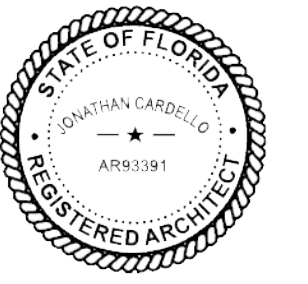
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Miami, Florida

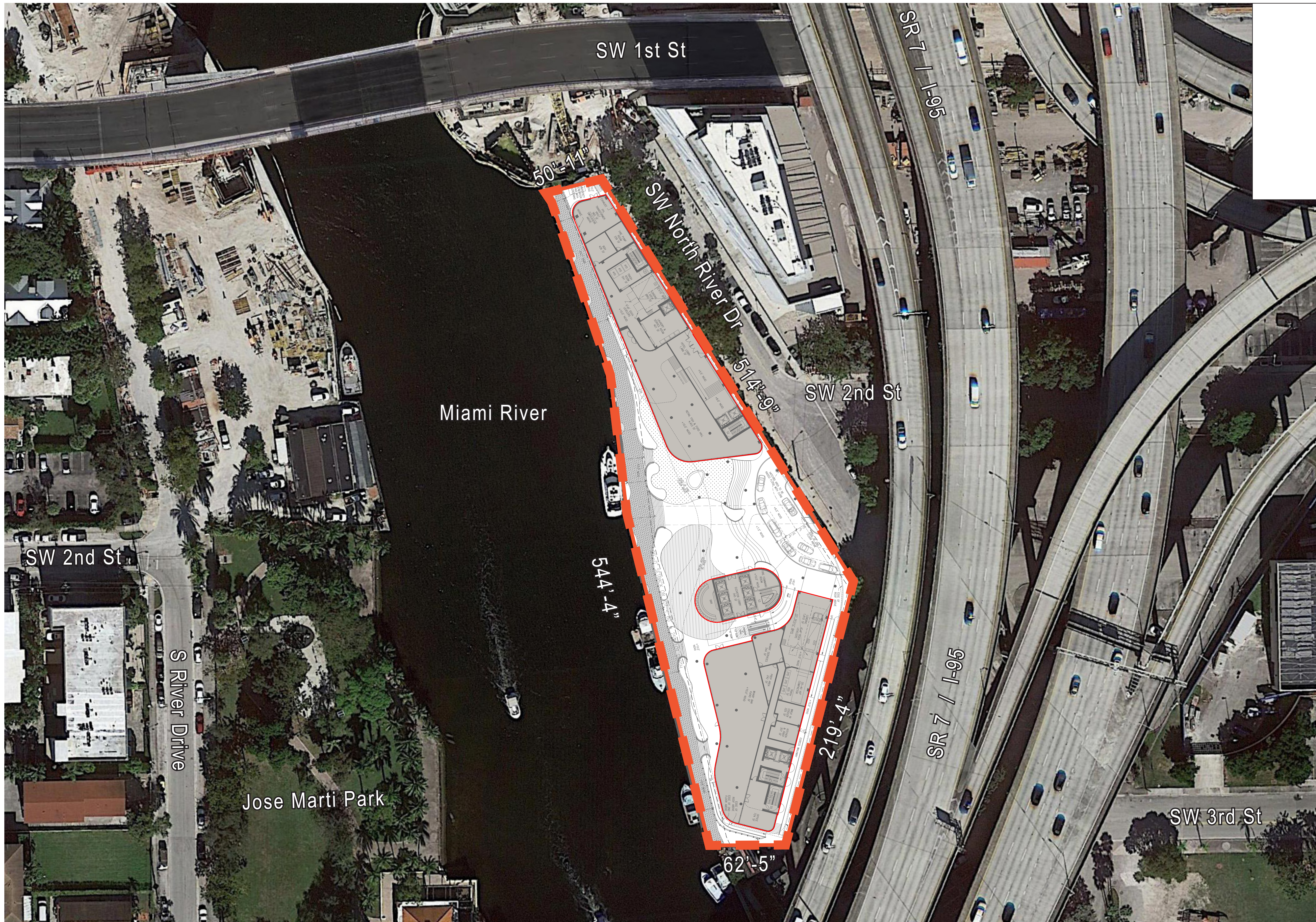
Existing Site Plan
Not to Scale



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08 December 2021

G-05

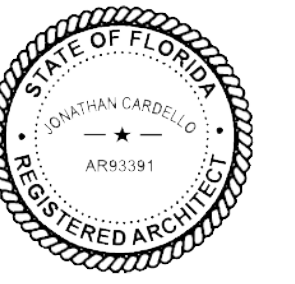
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RIVERSIDE WHARF
Miami, Florida

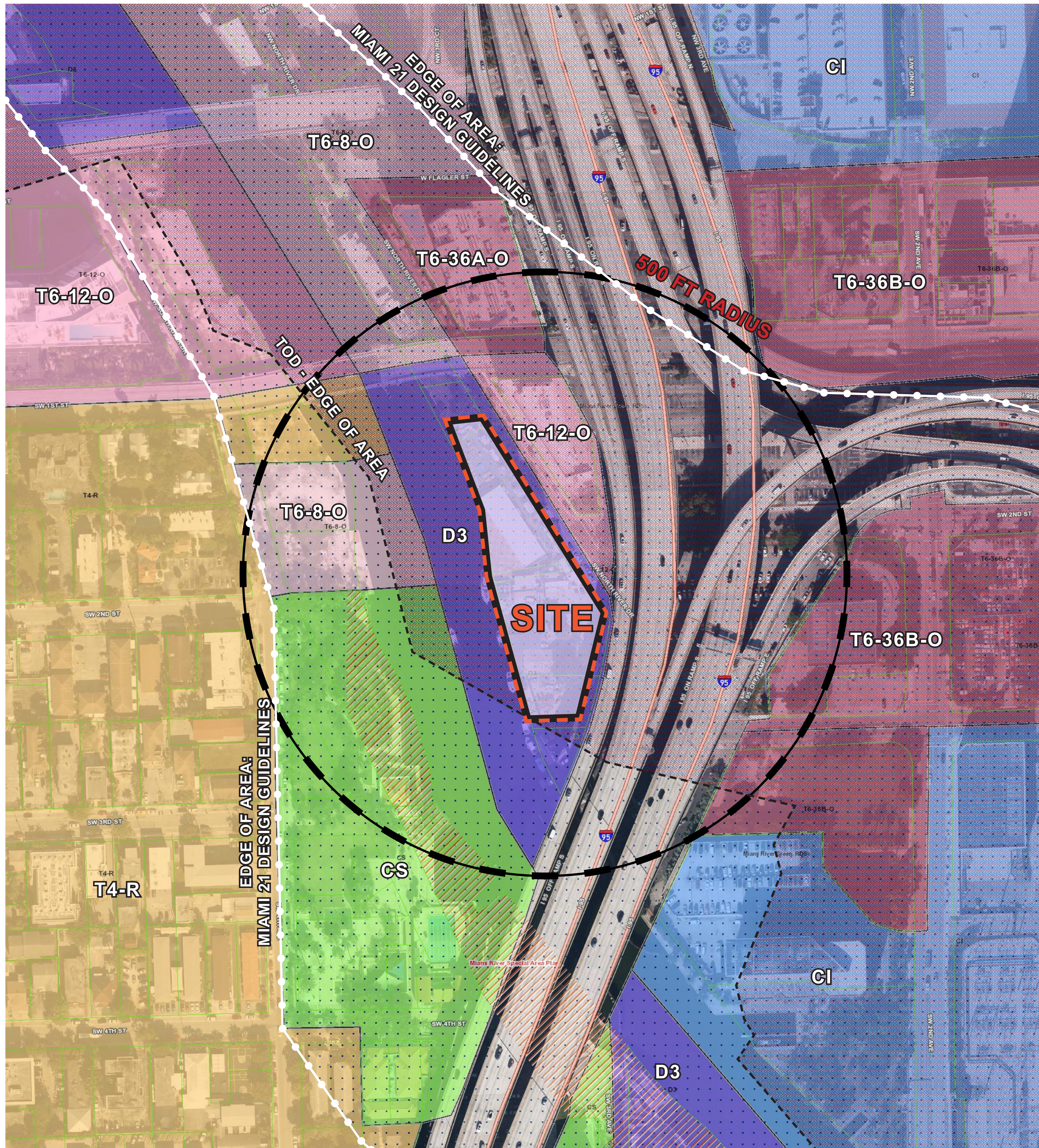
Proposed Site Plan
Not to Scale



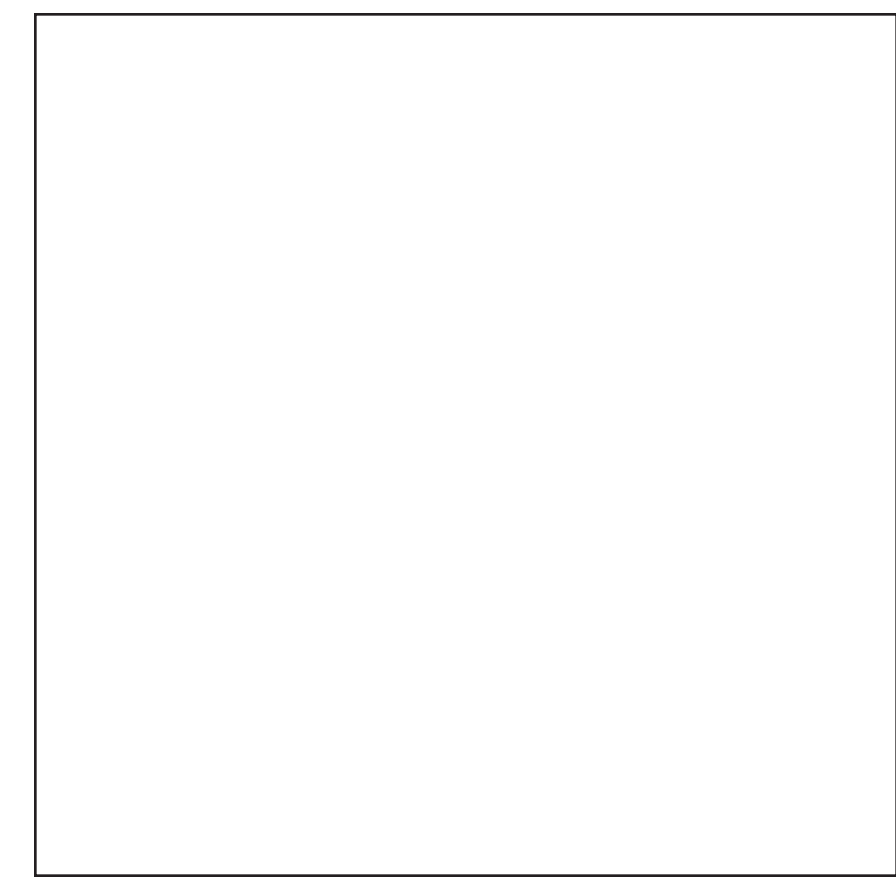
MRC Submission
08 December 2021

G-06

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RIVERSIDE WHARF
 Miami, Florida

Zoning Tabulations
 & Diagrams

MRC Submission
 08 December 2021

A-010

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ZONING ANALYSIS

City of Miami, Florida

Zoning Districts	Status	Remarks
Lots: 114 SW North River Drive 300 SW 2nd Street 200 SW North River Drive 236 SW North River Drive 298 SW North River Drive	Folio: 01-0113-090-1160 01-0113-090-1280 01-0114-000-1090 01-0114-000-2010 01-4137-031-0010	Zone D3 D3 D3 D3 D3
	FEMA Zone AE- 9 BFE 10.0 AE- 9 BFE 10.0 AE- 9 BFE 10.0 AE- 9 BFE 10.0 AE- 9 BFE 10.0	Record Record Record Record Record

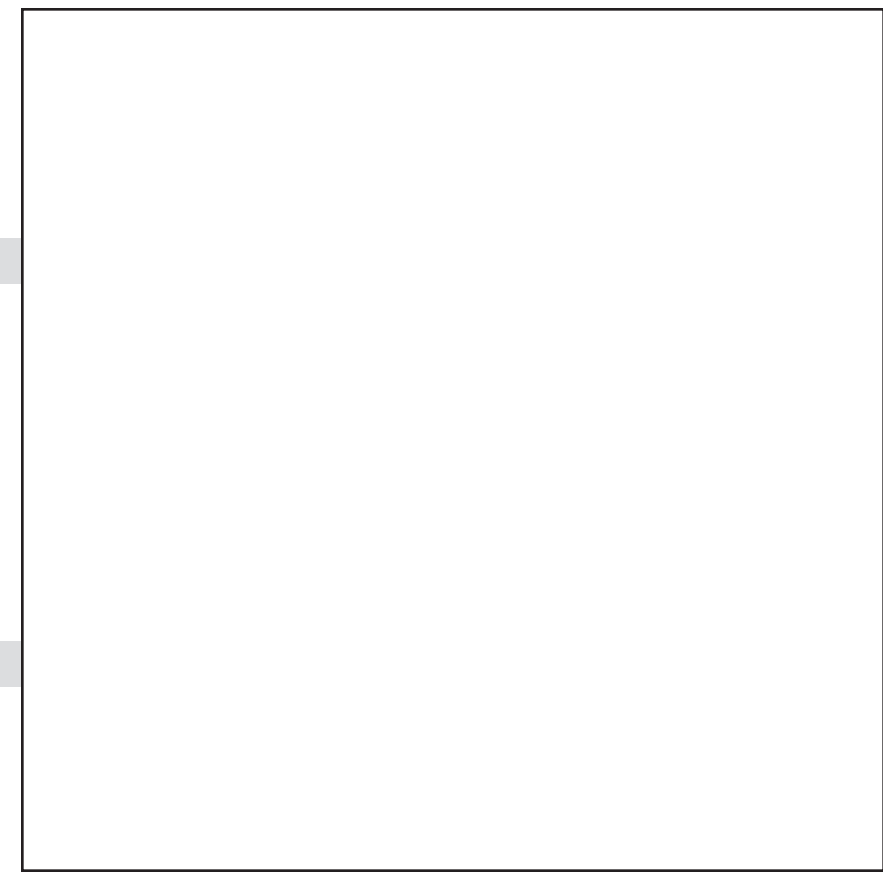
Lot Area Summary	Reference	Status	Remarks
Lot Area: Lot are shall be the area within the lot property lines, excluding any portions of street rights-of-way or other required dedications.			
114 SW North River Drive	01-0113-090-1160	Record	
300 SW 2nd Street	01-0113-090-1280	Record	Survey V-101
200 SW North River Drive	01-0114-000-1090	Record	
236 SW North River Drive	01-0114-000-2010	Record	
298 SW North River Drive	01-4137-031-0010	Record	Survey V-102
Total Net Lot Area (SF) - All Parcels		58,753 SF - Net Lot Area	
Total Net Lot Area (Acres)		1.35 Acres - Net Lot Area	

Note: Lot size per survey on record

Building Disposition Lot Occupation	Reference (Miami 21 Article 5 Illustration 5.10) (D3)	Required	Proposed	Status	Remarks
a. Lot Size		10,000 SF Min.	58,753 SF	Compliant	
b. Lot Width		100 FT Min.	540'-4"	Compliant	
c. Lot Coverage	1-8 Stories	North Building	10,861 GSF	Compliant	
		South Building	13,361 GSF		
		N & S floors above, bridge conections & roof	16,965 GSF		
		90% max	70.1%		
		52,878 GSF	41,187 GSF		
d. Floor Lot Ratio (Maximum)		North Building	106,068 GSF	N/A	
		South Building	102,487 GSF		
		N/A	3.5		
		208,555 GSF			
e. Frontage on Front Setback		N/A	N/A	N/A	
f. Open Space Requirements		5% min	29.9%	Compliant	
		2,938 GSF	17,566 GSF		
g. Density		N/A	174 Lodging Units	N/A	0.5 Dwelling unit (DU) per 1.0 Lodging unit = 72 DU

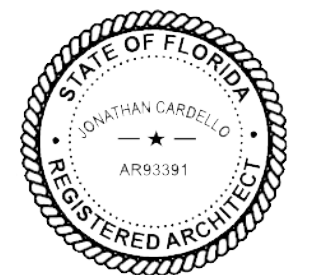
Building Disposition Building Setbacks	Reference (Miami 21 Article 5 Illustration 5.10) (D3)	Required	Proposed	Status	Remarks
a. Principal Front (SW North River Drive)		5 ft. min.	7'-0" 4'-6"	Waiver	See waiver list
b. Secondary Front		5 ft. min.	N/A	N/A	
c. Side (North)		0 ft. min.	0'-0"	Compliant	
Side (East / Highway)		0 ft. min.	2'-0"	Compliant	
Side (South)		0 ft. min.	15'-6" 5'-6"	Compliant	
d. Rear		0 ft. min.	N/A	N/A	
Waterfront - Fronting a Waterway		20'-0" Minimum or 25% of lot depth where lot is less than 80'-0"	13'-2" 25'-2"	Compliant	(see) 3.11.a.1
Waterfront - Side Setbacks		0'-0" based on D3	Refer to (c.)	Compliant	(see) 3.11.a.3
Waterfront - Minimum Circulation Zone		25'-0" 12'-0" Minimum by Waiver	12'-0"	Waiver	(see) 3.11.b.6

Building Disposition Building Height	Reference (Miami 21 Article 5 Illustration 5.10) (D3)	Required	Proposed	Status	Remarks
Minimum Stories Allowed		N/A	N/A	N/A	
Maximum Stories Allowed		8 Stories Max.	8 Stories	Compliant	
Maximum Benefit Height (inclusive of all stories)		N/A	N/A	N/A	



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Zoning Tabulations

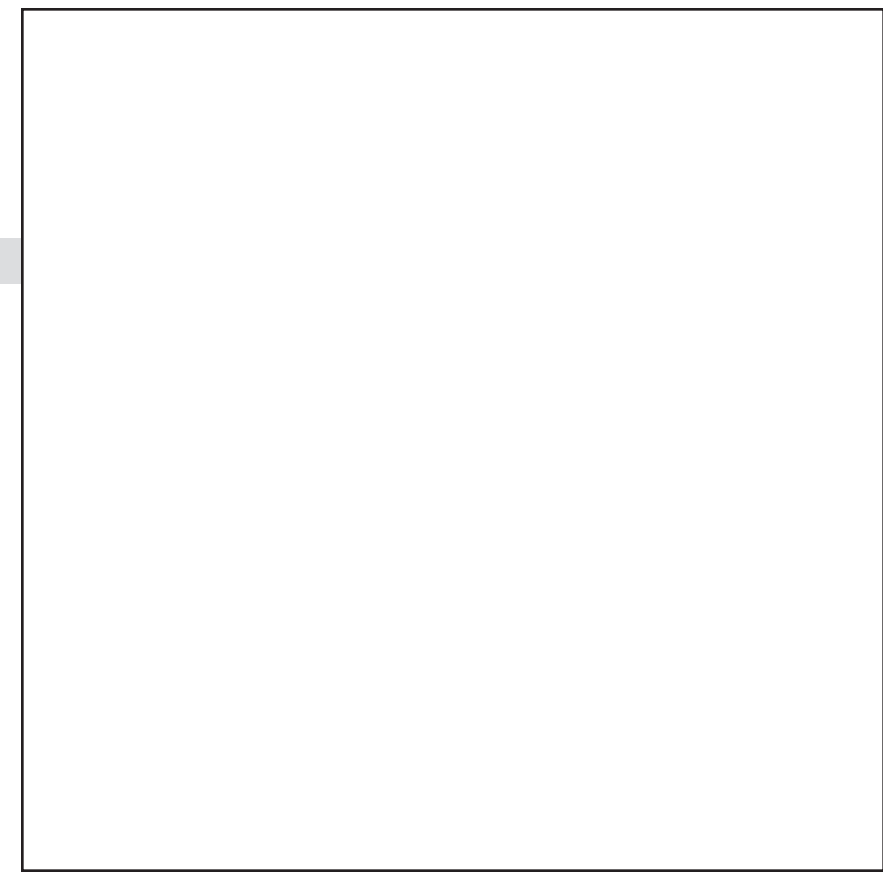
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ZONING ANALYSIS

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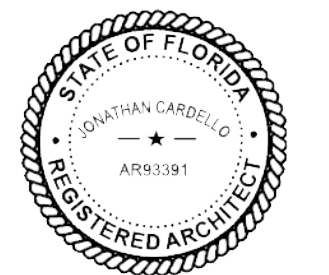
Parking Requirements	Reference (Miami 21 Article 4 Table 4) (D3)	Required	Proposed	Status	Remarks
Lodging Parking Requirements					
Lodging Units Parking Requirements		Minimum of 1.5 Parking Spaces per 2 Lodging Units			
Lodging Units		174 Lodging Units			
		131 Parking Spaces	0 Parking Spaces		
Visitors Parking Requirements		Minimum of 1.0 Guest Parking Spaces per 15 Lodging Units			
Lodging Units		174 Lodging Units			
		12 Parking Spaces	0 Parking Spaces		
Total Lodging Parking Requirement		142 Parking Spaces	0 Parking Spaces		
Commercial Parking Requirements					
Commercial SF Total		Minimum of 3.0 Parking Spaces per 1,000 SF			
		87,539 SF			
		263 Parking Spaces	0 Parking Spaces		
Total Parking Required (Before Shared and TOD Reductions)		405 Parking Spaces	0 Parking Spaces		
Shared Parking Factor (Commercial w/ Lodging)		1.3 Parking Ratio			
Total Lodging Parking Required		142 Parking Spaces			
Total Lodging Parking Required (After Reduction)		-33 Parking Spaces	109 Parking Spaces		
Total Parking Required (After Shared Parking Reductions)		372 Parking Spaces			
TOD area Parking Reduction			50%		Max 30% by TOD 50% by Waiver
Reduction in Total Parking Required		-186 Parking Spaces			
Total Parking Required (After All Parking Reductions)		186 Parking Spaces	0 Parking Spaces		All required parking spaces are being provided off-site by process of waiver



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Loading Requirements	Reference (Miami 21 May 2015 - Article 4 Table 5)	Required	Proposed	Status	Remarks
Lodging Loading Requirements					
From 25,000 sf to 500,000 sf			174 Lodging Units		Note: per Miami 21 Residential Birth = 200 sf (10ft x 20ft x 12ft) Commercial Birth = 420 sf (12ft x 35ft x 15ft)
Berth Size	Number of Loading Berths Required				
420 SF	1 per first 300 Lodging Units	(1) 420 SF Berth	(2) 200 SF Berths		
200 SF	1 per each additional 100 Lodging Units				
Total Lodging Loading Berths Required =		(1) 420 SF Berth	2 Loading Berths		Waiver to substitute (1) 420 SF Berth for (2) 200 SF Berths
Office/Commercial Loading Requirements					
From 25,000 sf to 500,000 sf			87,539 SF		
Berth Size	Number of Loading Berths Required				
420 SF	25K sf - 50K sf	(1) 420 SF Berth	(1) 420 SF Berth		
420 SF	50K sf - 100K sf	(1) 420 SF Berth	(1) 420 SF Berth		
420 SF	100K sf - 250K sf				
420 SF	250K sf - 500K sf				
Total Office/Commercial Loading Berths Required =		(2) 420 SF Berths	(2) 420 SF Berths		

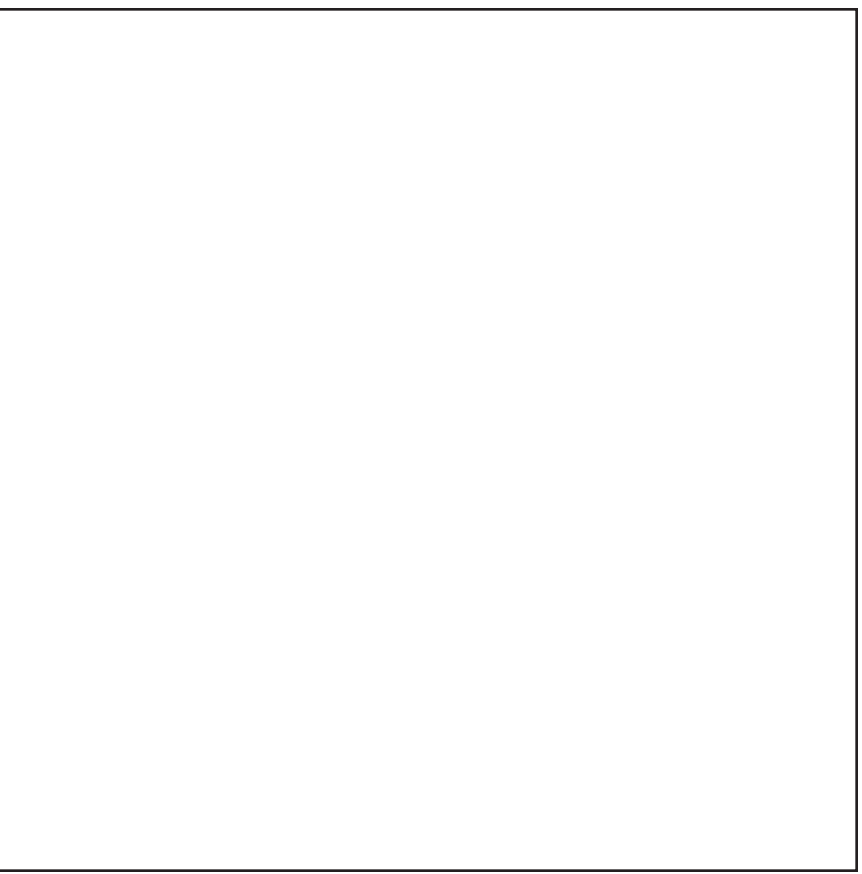
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Zoning Tabulations

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Waiver List

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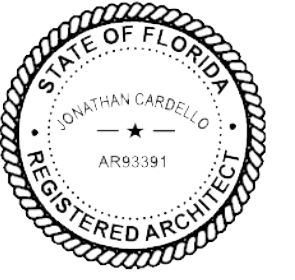
Exception Request	Section Number	Section Text	Justification
Lodging use within D3 Zone	Article 4 Table 3	Zone: D3 Building Function Use: Lodging/Hotel Exception	Exception is being sought to permit Lodging uses in a D3 Transect Zone, pursuant to Article 4 Table 3
Waiver Request	Section Number	Section Text	Justification
(1) 420 SF Lodging Loading Berth is required. Propose substituting with (2) 200 SF Berths	Article 4 Table 5	Loading Berth Standards Notes ** 1 Commercial berth may be substituted by 2 Residential berths"	Due to the narrow dimensions on the North side of the property where the hotel portion is located and the narrow roadway access, we propose using (2) smaller 200 SF Berths in place of (1) 420 SF Berth.
Propose providing the minimum waterfront circulation path of 12'-0".	3.11.b.6	The total width of a Waterfront walkway shall be a minimum of twenty-five (25) feet per Appendix B, unless the Setback is reduced when the depth of the Lot requires it. Waterfront walkway Design Standards shall apply in the entirety of the Setback when properties are set back less than twenty-five (25) feet. Standards may be adjusted by process of Waiver, but shall not diminish the Circulation Zone identified within Appendix B, with a clear path no less than twelve (12) feet in total width provided.	Due to the Narrow lot depth of the North end we are proposing to use the 12'-0" minimum. Along the Middle and south portions of the waterfront, we are opening-up/widening the pathway for a more open public experience. (See landscape drawings for waterfront walkway layout/design)
Primary setback (East corner or property) Dominant setback waiver request for rooftop and architectural screen encroachment.	Illustration 5.10 5.10.1.e.	Setbacks for Buildings shall be as shown in Article 4, Table 2 and Illustration 5.10. Illustration 5.10 Building Setback a. Principal Front 5 ft. min	The majority of the Primary setback is upheld. The building is setback 7'-0" to allow an architectural screen element. The East corner of the property line jogs inward creating a pinch point. We are requesting a dominant setback waiver to allow for a consistent architectural facade/design. The small portion of the roof that is over the setback is all terrace space with a screen element (no interior space). The corner of the building is filleted (rounded) as the building turns the corner and faces the highway (I-95) to help soften the views.
Parking Reduction: No Parking on site	Article 4 Table 4 (D)	Except for sites within 500 feet of an ungated T3 Transect Zone, the parking ratio may be reduced within a TOD area or within a Transit Corridor area by up to thirty percent (30%) by process of Waiver; by up to fifty percent (50%) by process of Waiver and payment into a transit enhancement Trust Fund, as established by Chapter 35 of the City Code; or by one hundred percent (100%) for any Structure with a Floor Area of ten thousand (10,000) square feet or less.	The site is located along (2) Metrobus Routes (SW North River Dr.) and within 1 block of multiple large public parking lots. The site is also located within 1/2 mile from the Government Center Metrorail station. The current function of the property does not include any parking.



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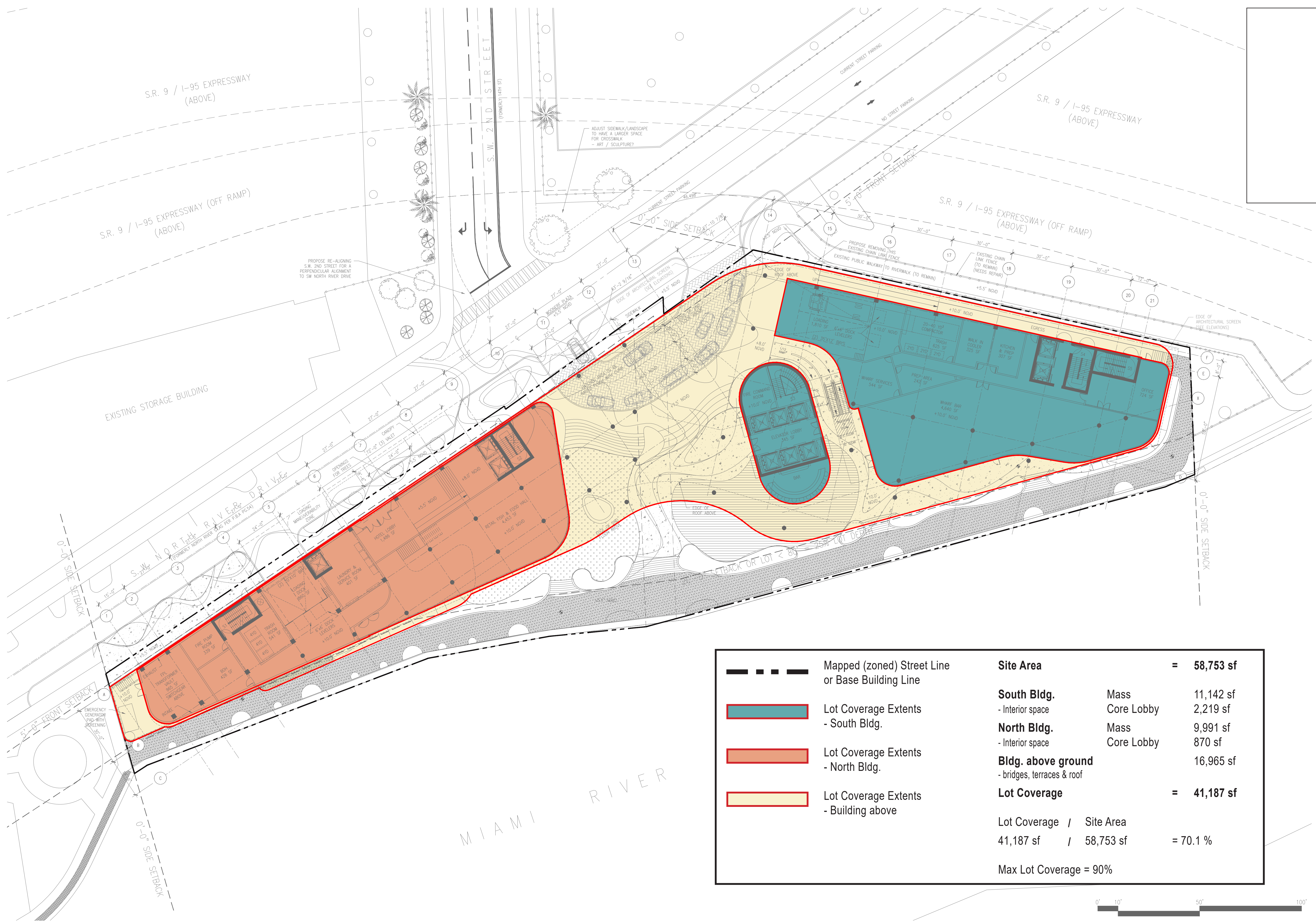
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Waiver Requests

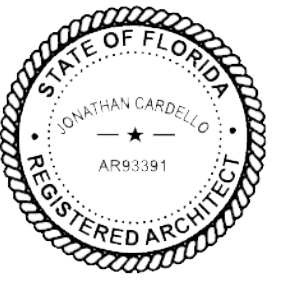
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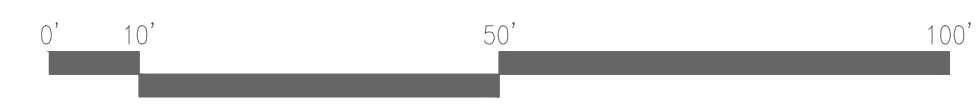
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Lot Coverage Diagram
 Scale: 3/64" = 1'-0"

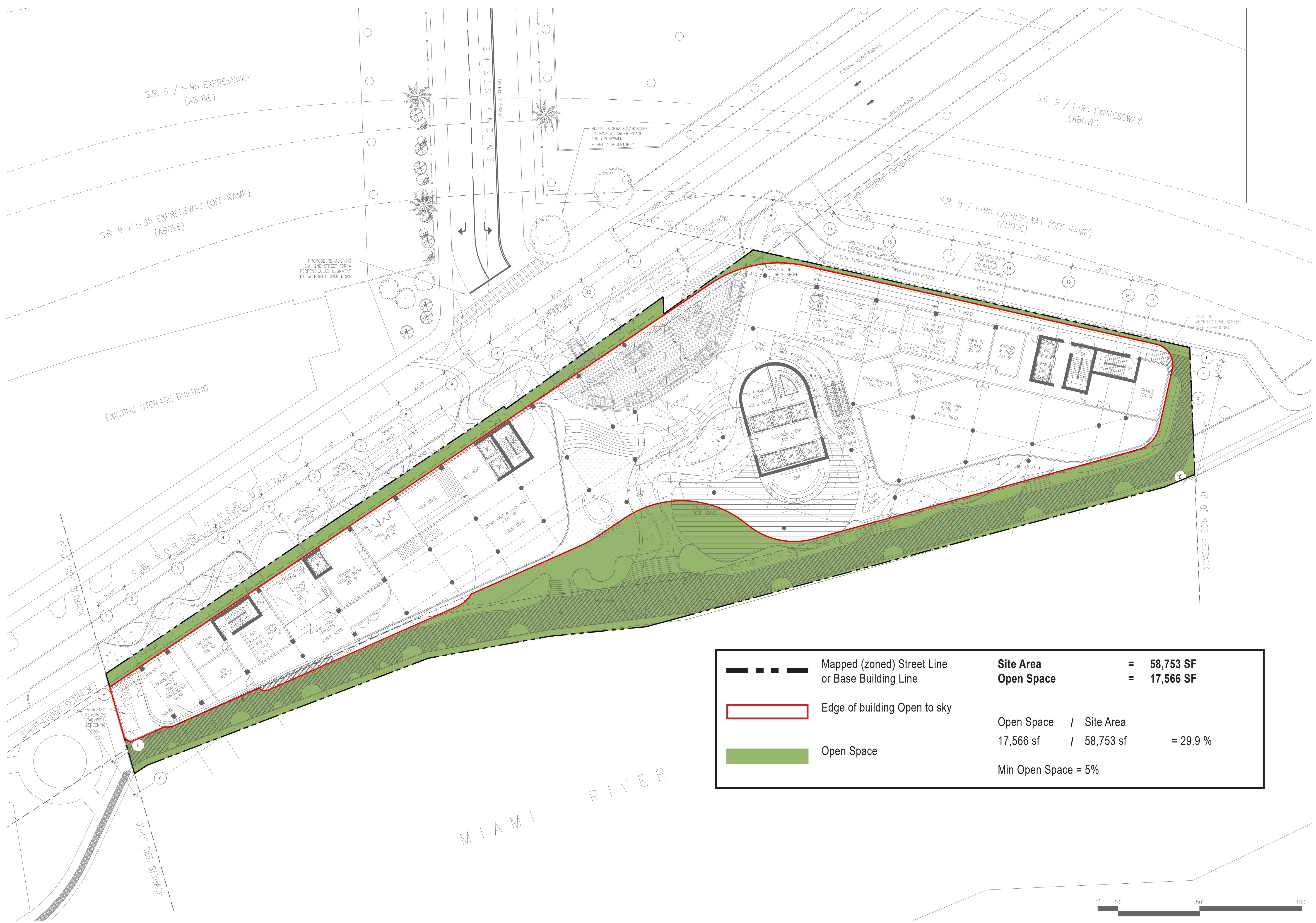
	Mapped (zoned) Street Line or Base Building Line	Site Area	= 58,753 sf
	Lot Coverage Extents - South Bldg.	South Bldg.	Mass 11,142 sf
	Lot Coverage Extents - North Bldg.	- Interior space	Core Lobby 2,219 sf
	Lot Coverage Extents - Building above	North Bldg.	Mass 9,991 sf
		- Interior space	Core Lobby 870 sf
		Bldg. above ground	16,965 sf
		- bridges, terraces & roof	
		Lot Coverage	= 41,187 sf
		Lot Coverage / Site Area	
		41,187 sf / 58,753 sf	= 70.1 %
		Max Lot Coverage = 90%	






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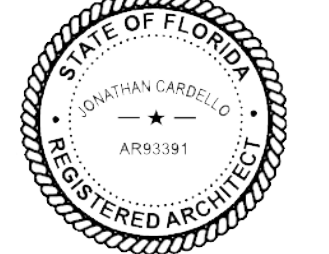
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	Mapped (zoned) Street Line or Base Building Line	Site Area	=	58,753 SF
	Edge of building Open to sky	Open Space	=	17,566 SF
	Open Space	Open Space / Site Area		
		17,566 sf / 58,753 sf		= 29.9 %
		Min Open Space = 5%		



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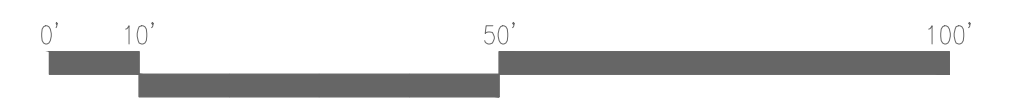
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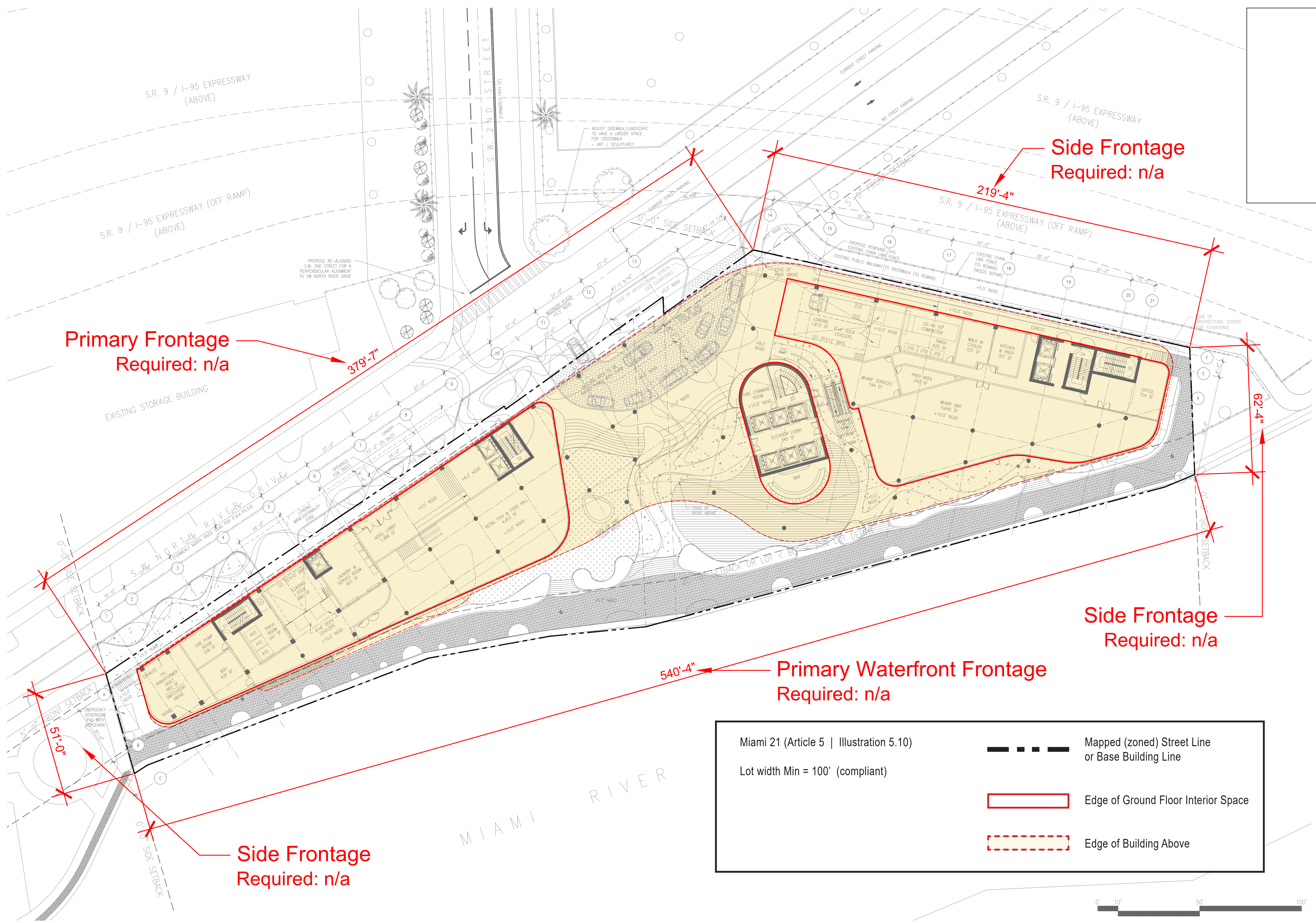
Open Space Diagram
 Scale: 3/64" = 1'-0"



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**Primary Frontage
Required: n/a**

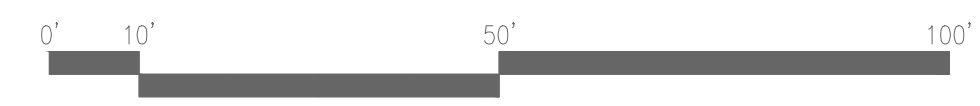
**Side Frontage
Required: n/a**

**Side Frontage
Required: n/a**

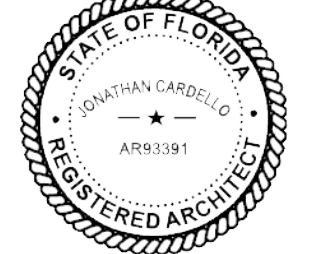
**Primary Waterfront Frontage
Required: n/a**

**Side Frontage
Required: n/a**

Miami 21 (Article 5 Illustration 5.10)		Mapped (zoned) Street Line or Base Building Line
Lot width Min = 100' (compliant)		Edge of Ground Floor Interior Space
		Edge of Building Above



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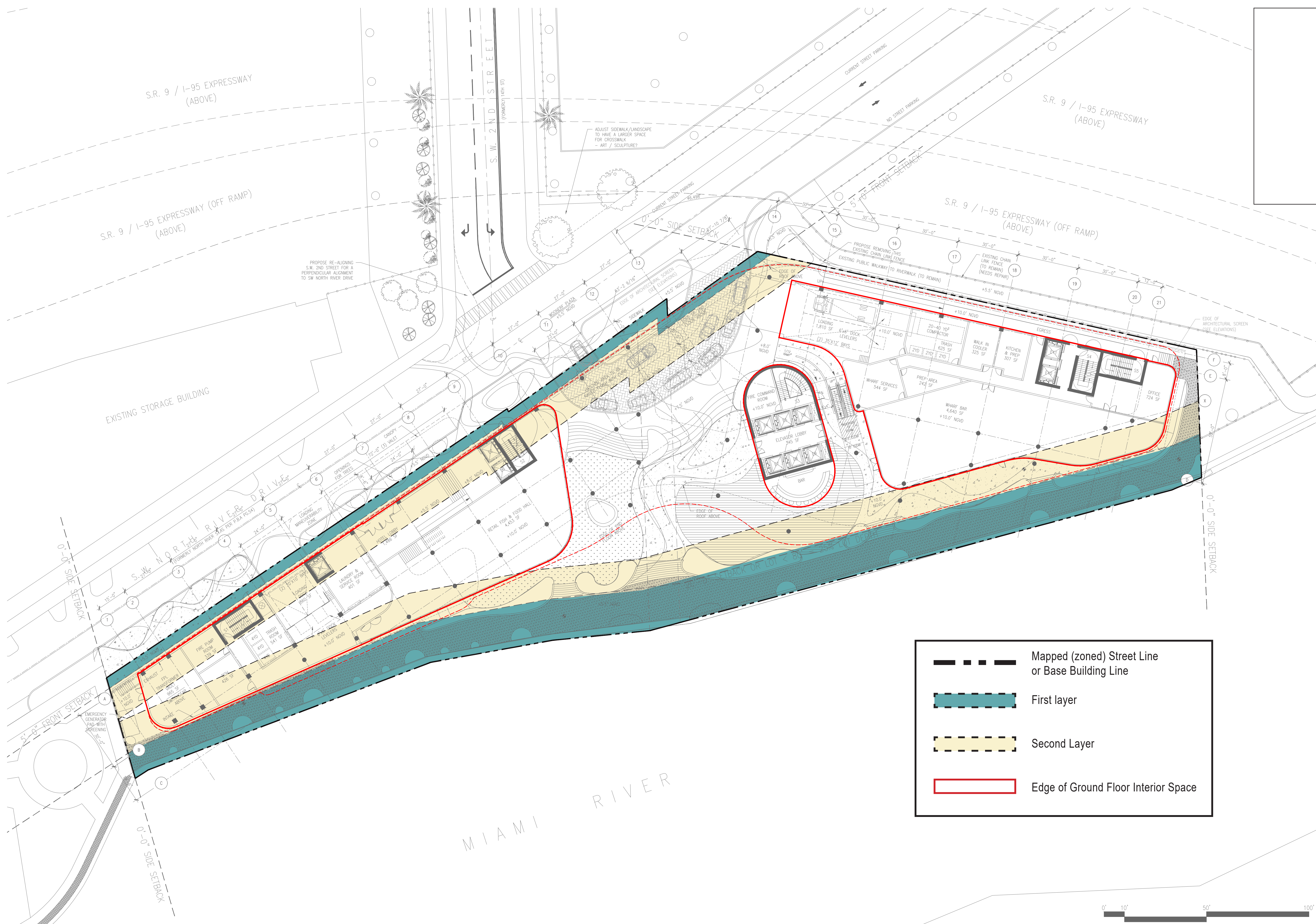
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Frontage Diagram
Scale: 3/64" = 1'-0"



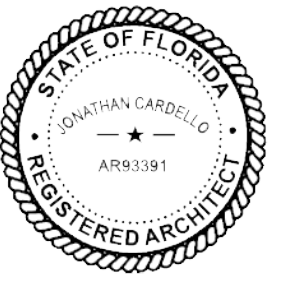
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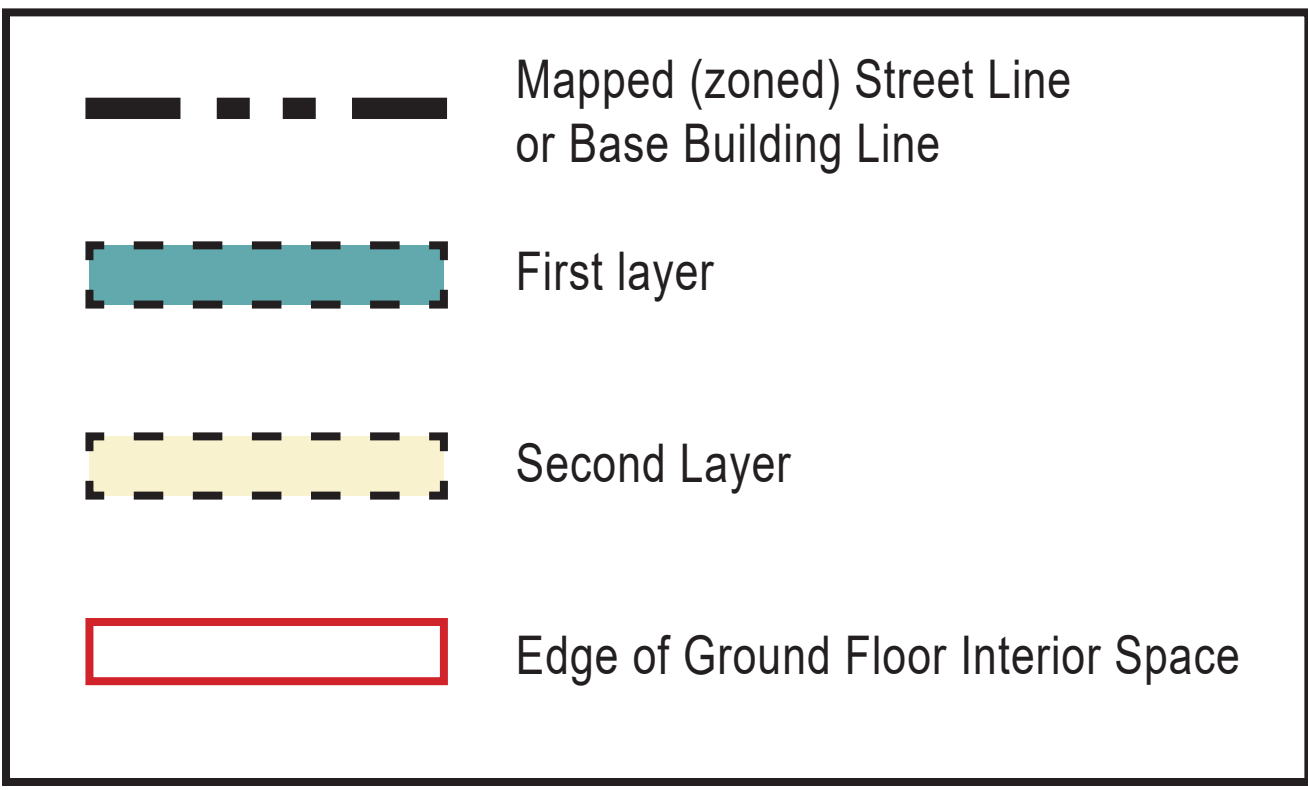
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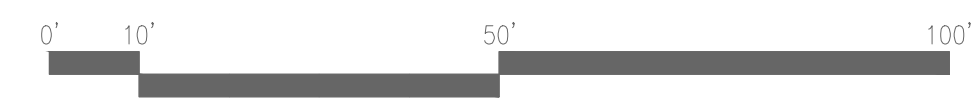
Layer Diagram
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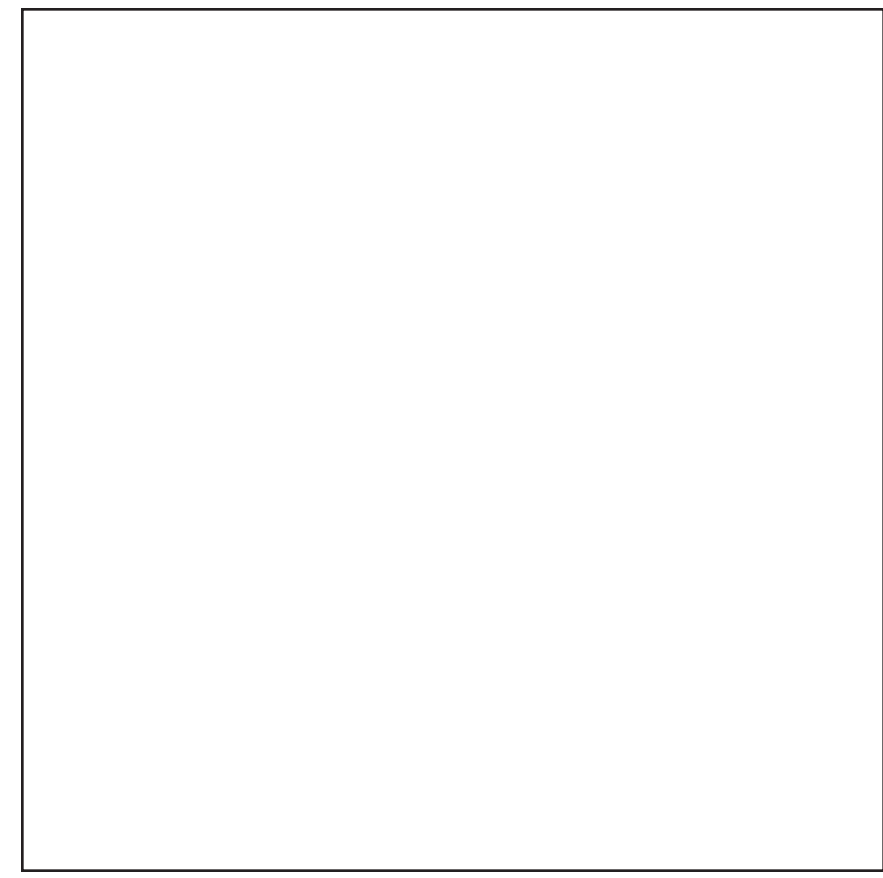
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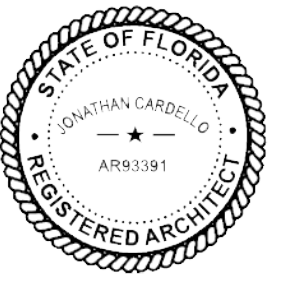


A-100	Floor Plans
A-101	Ground Floor Plan
A-102	Roof Deck (N.) & 8th (S.) Floor Plan



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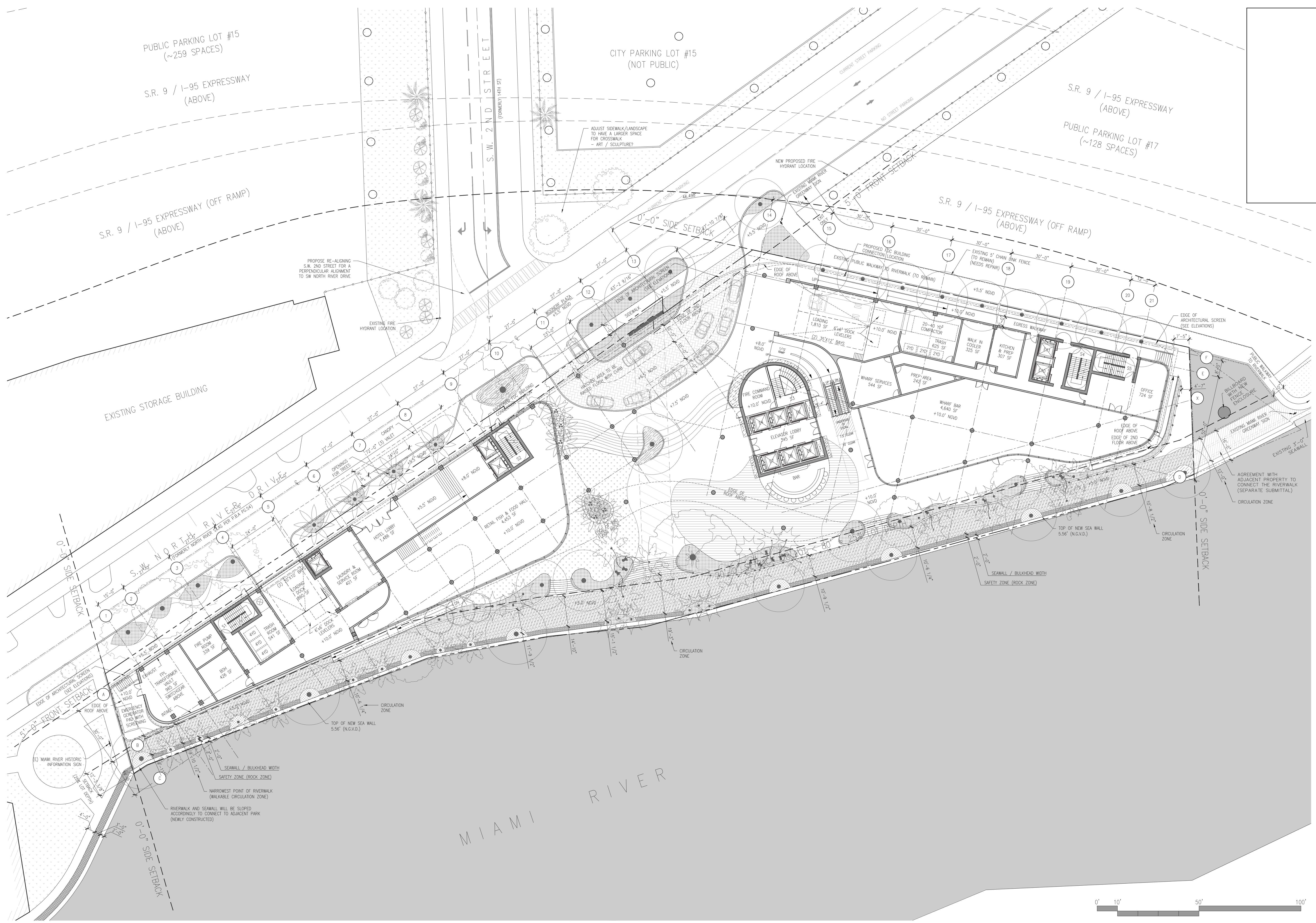
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Floor Plans

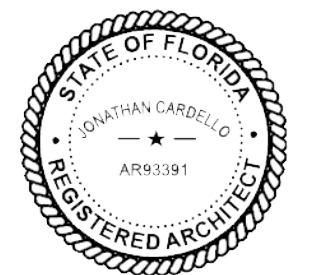
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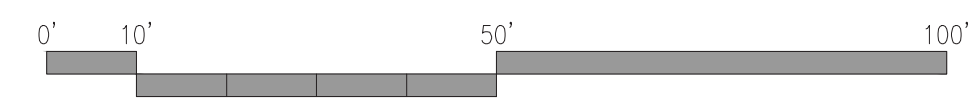
Ground Floor Plan
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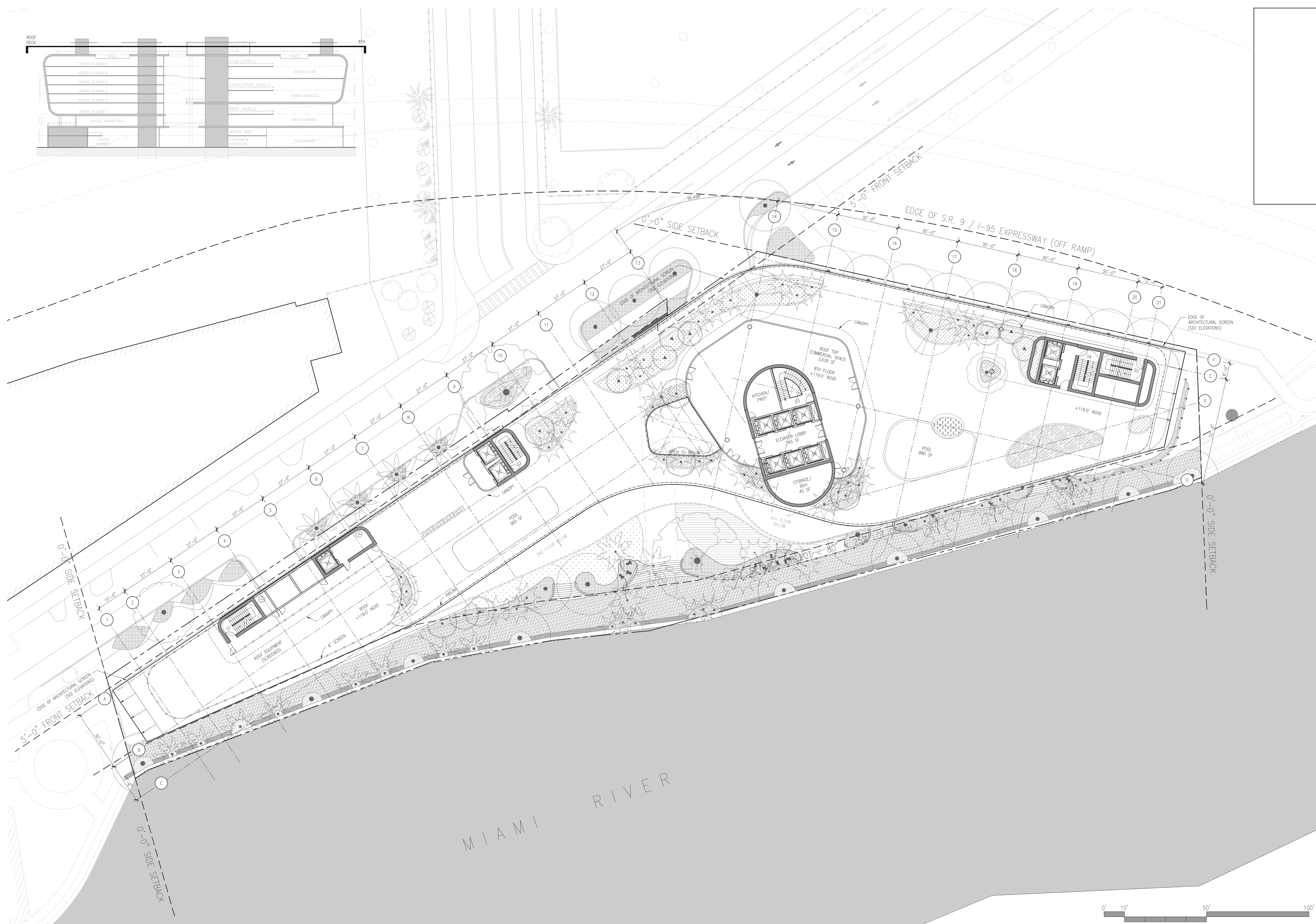
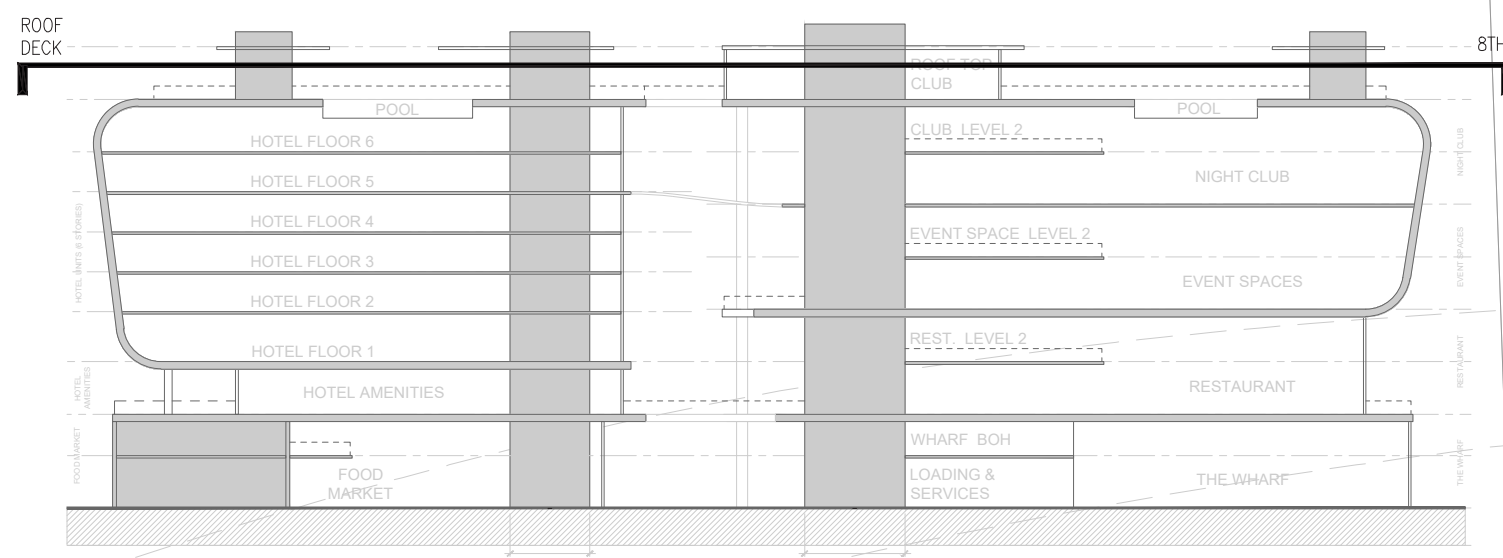


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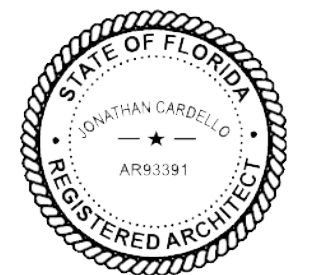
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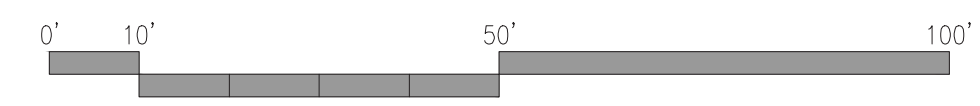
Roof Deck (North) & 8th (South) Floor Plan
 Scale: 3/64" = 1'-0"



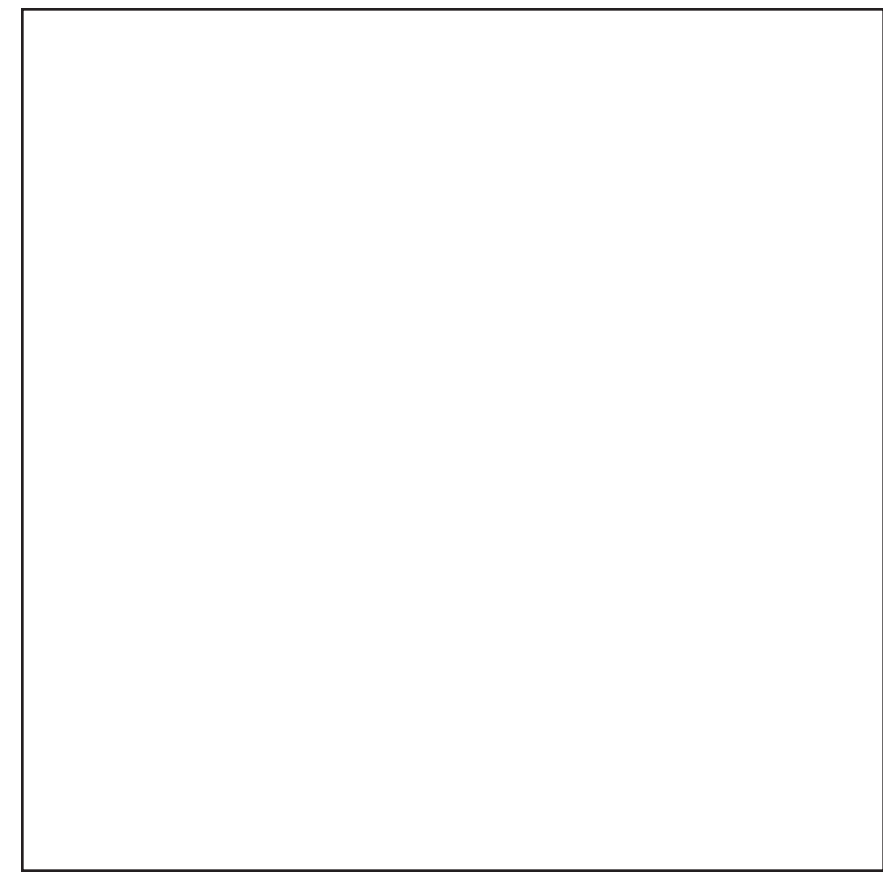
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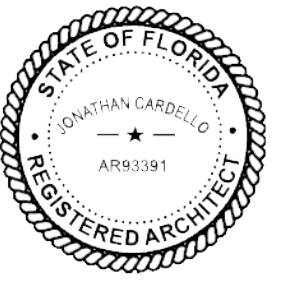


A-200	Building Elevations & Sections
A-201	East Elevation (South Bldg)
A-202	North - East Elevation (North Bldg)
A-203	South - West Elevation (North Bldg)
A-204	West Elevation (South Bldg)
A-205	Programmatic Building Section



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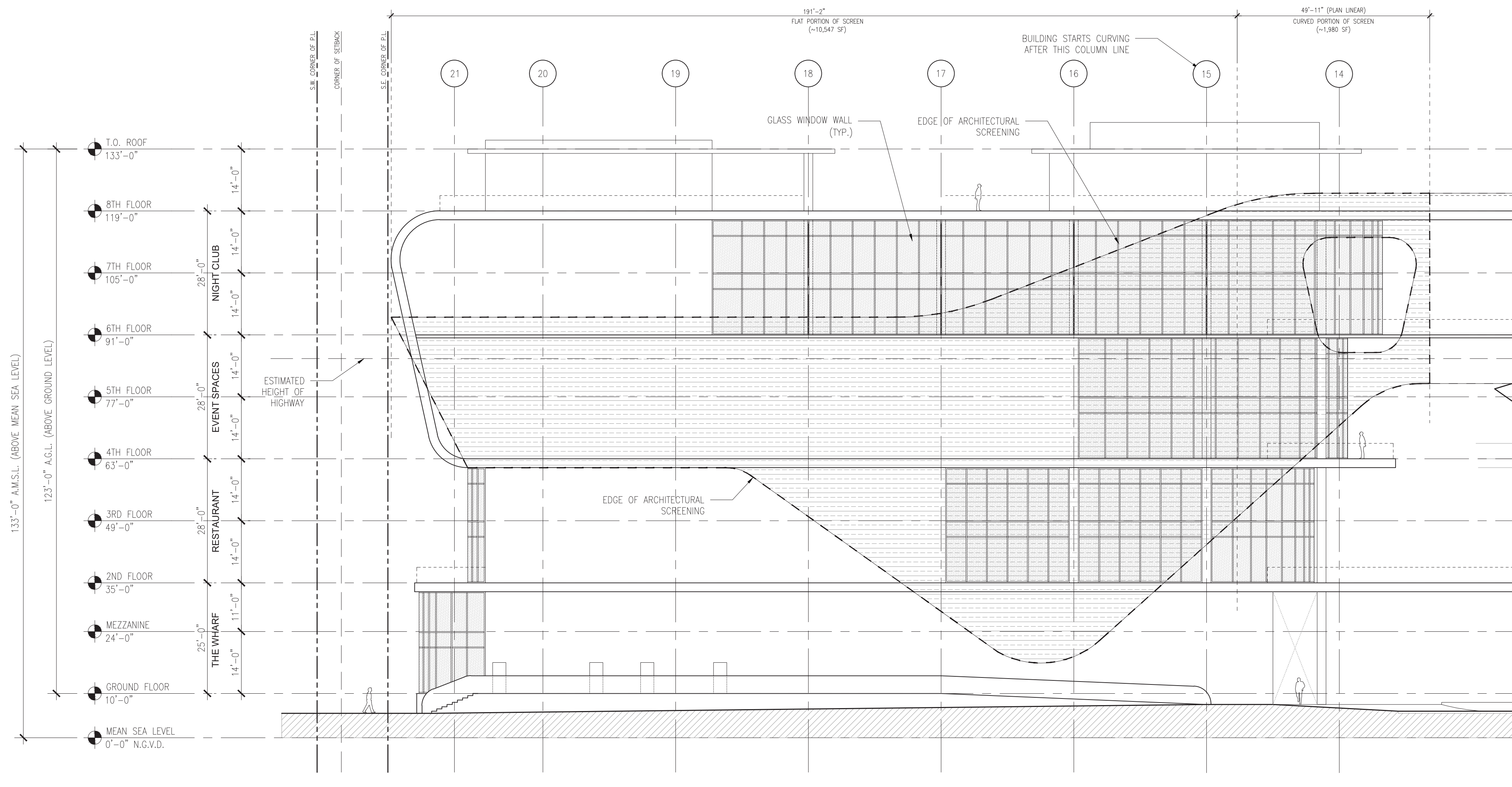
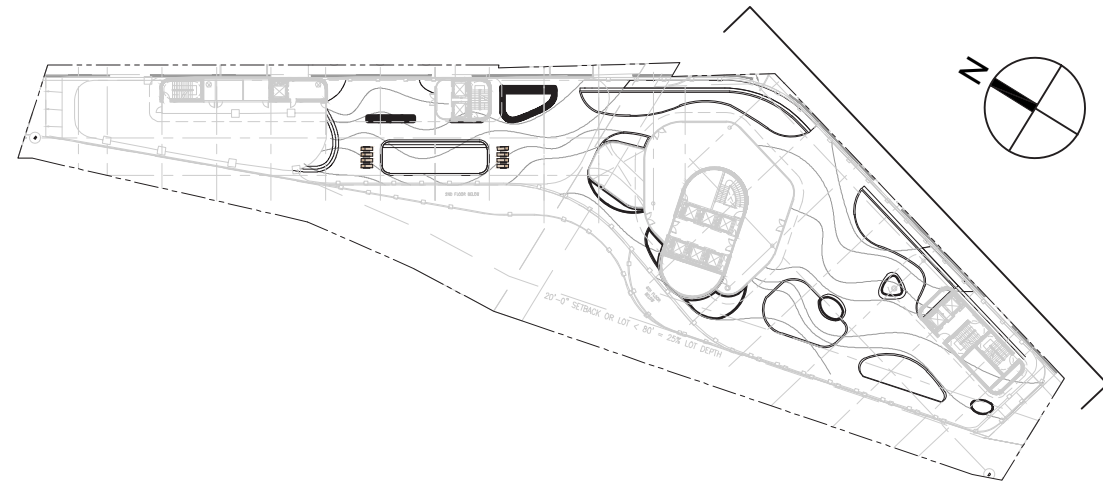
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**Building Elevations
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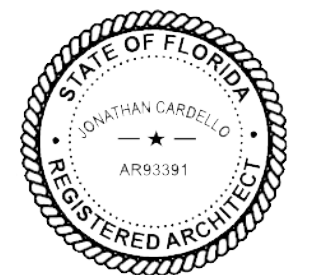
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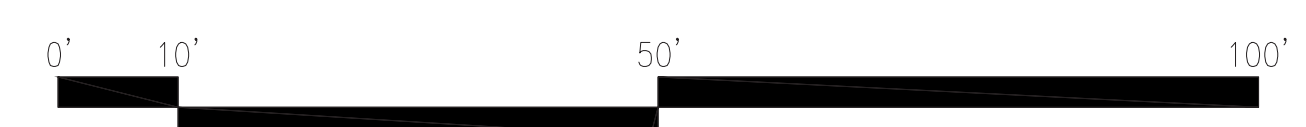
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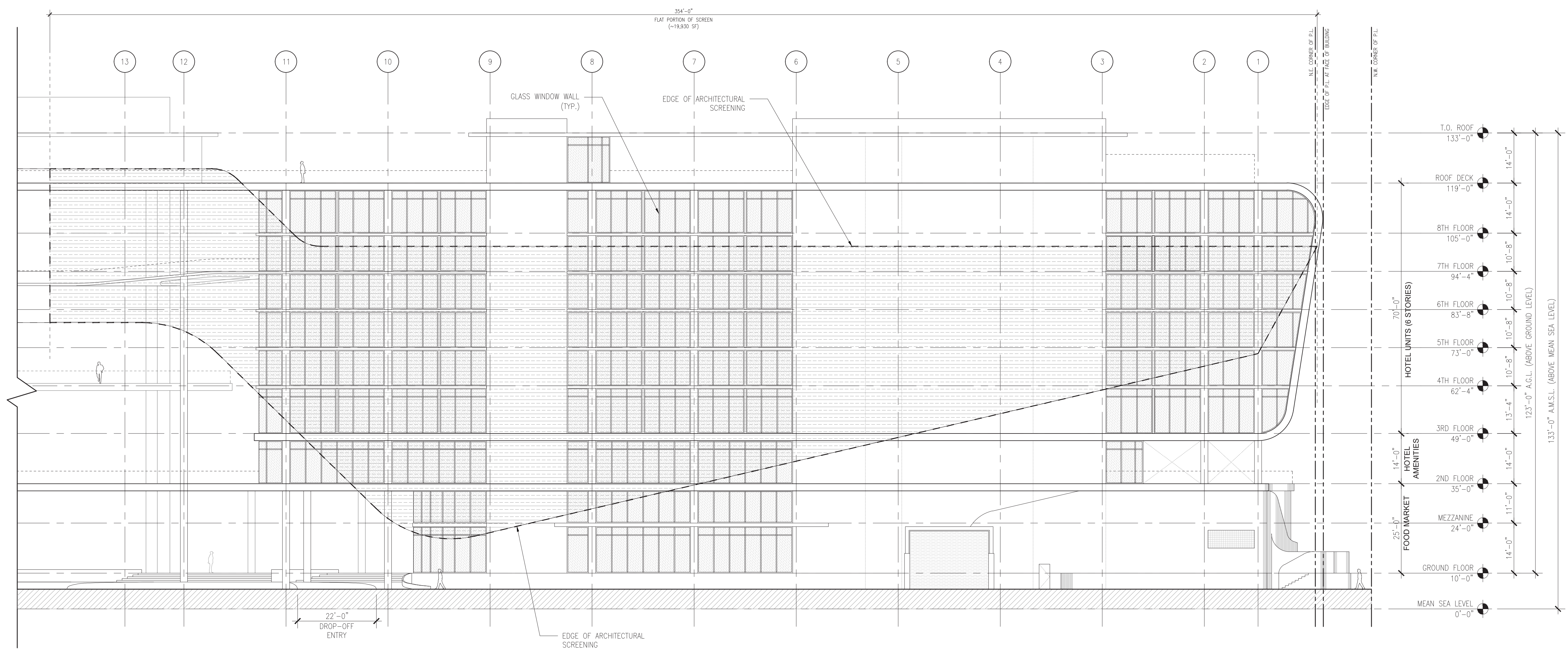
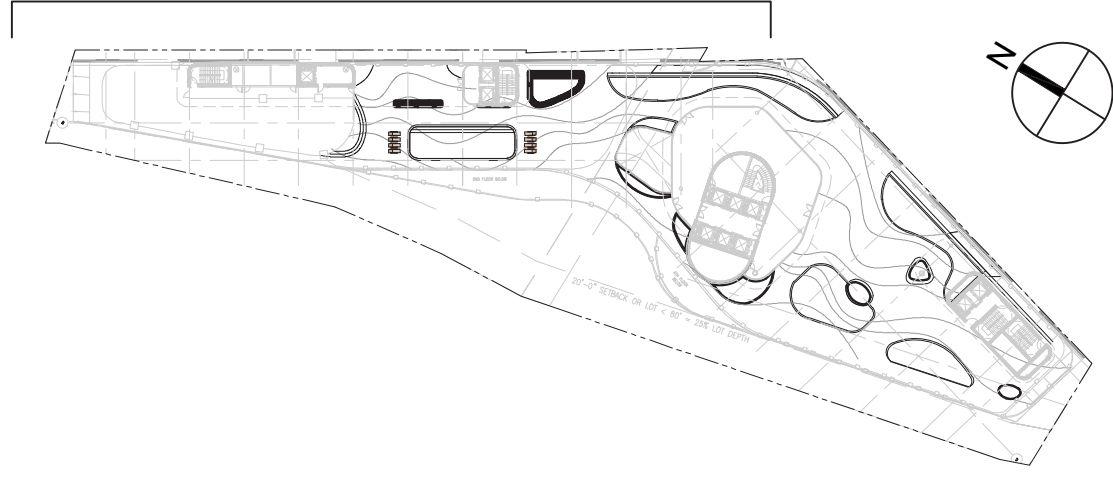
East Elevation (South Bldg.)
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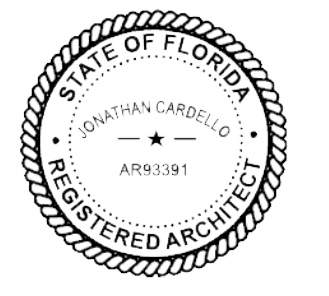
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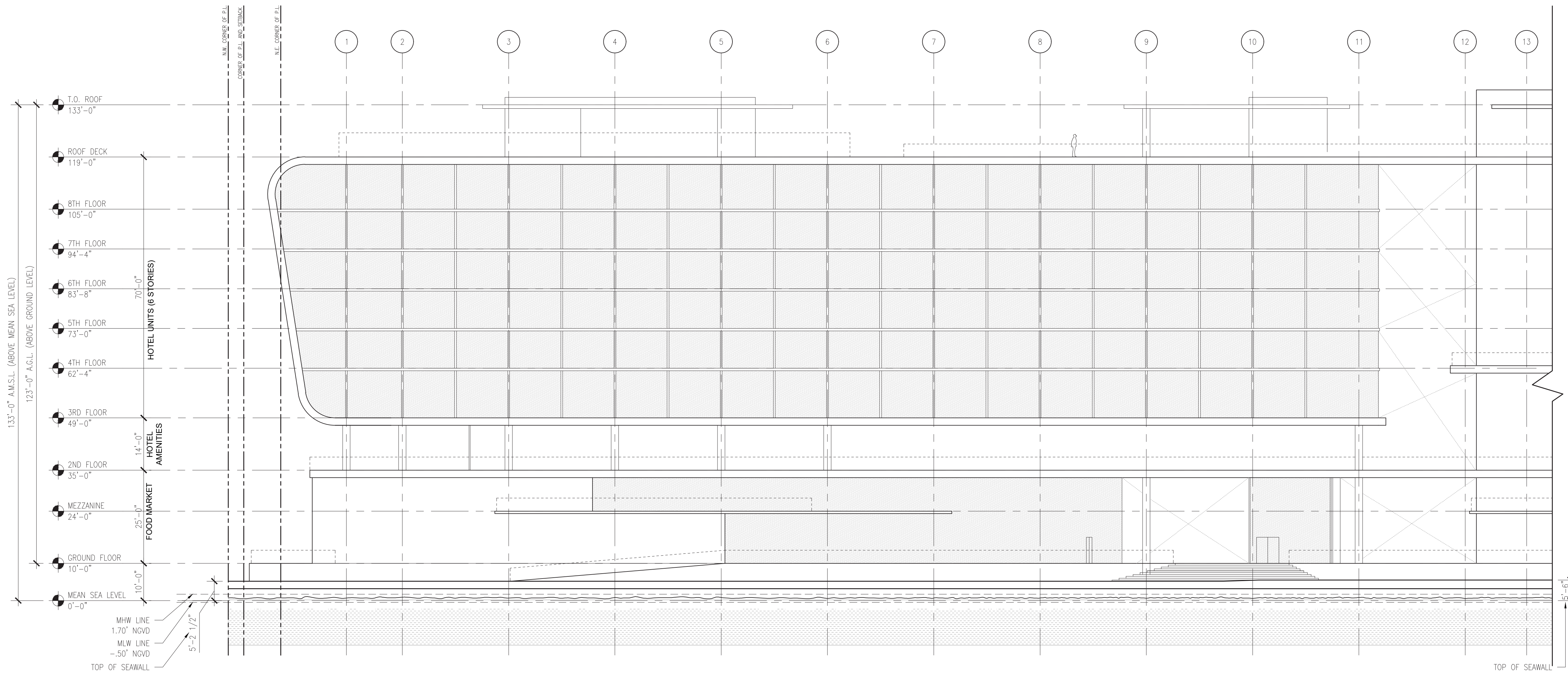
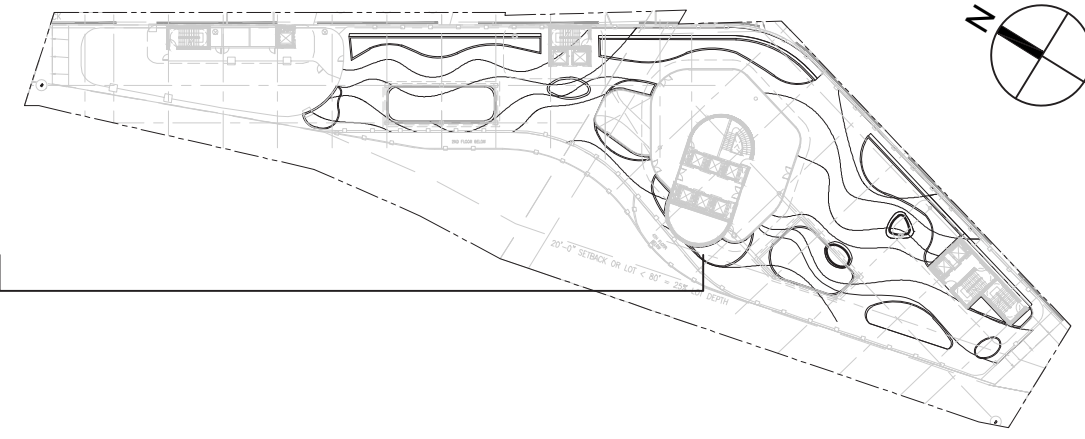
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North-East Elevation (North Bldg.)
Scale: 1/16" = 1'-0"

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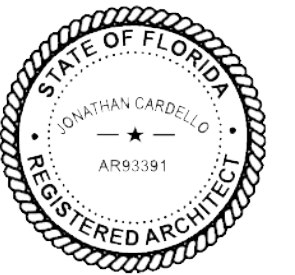
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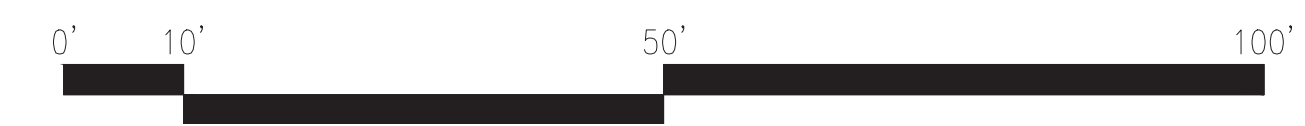
**RIVERSIDE
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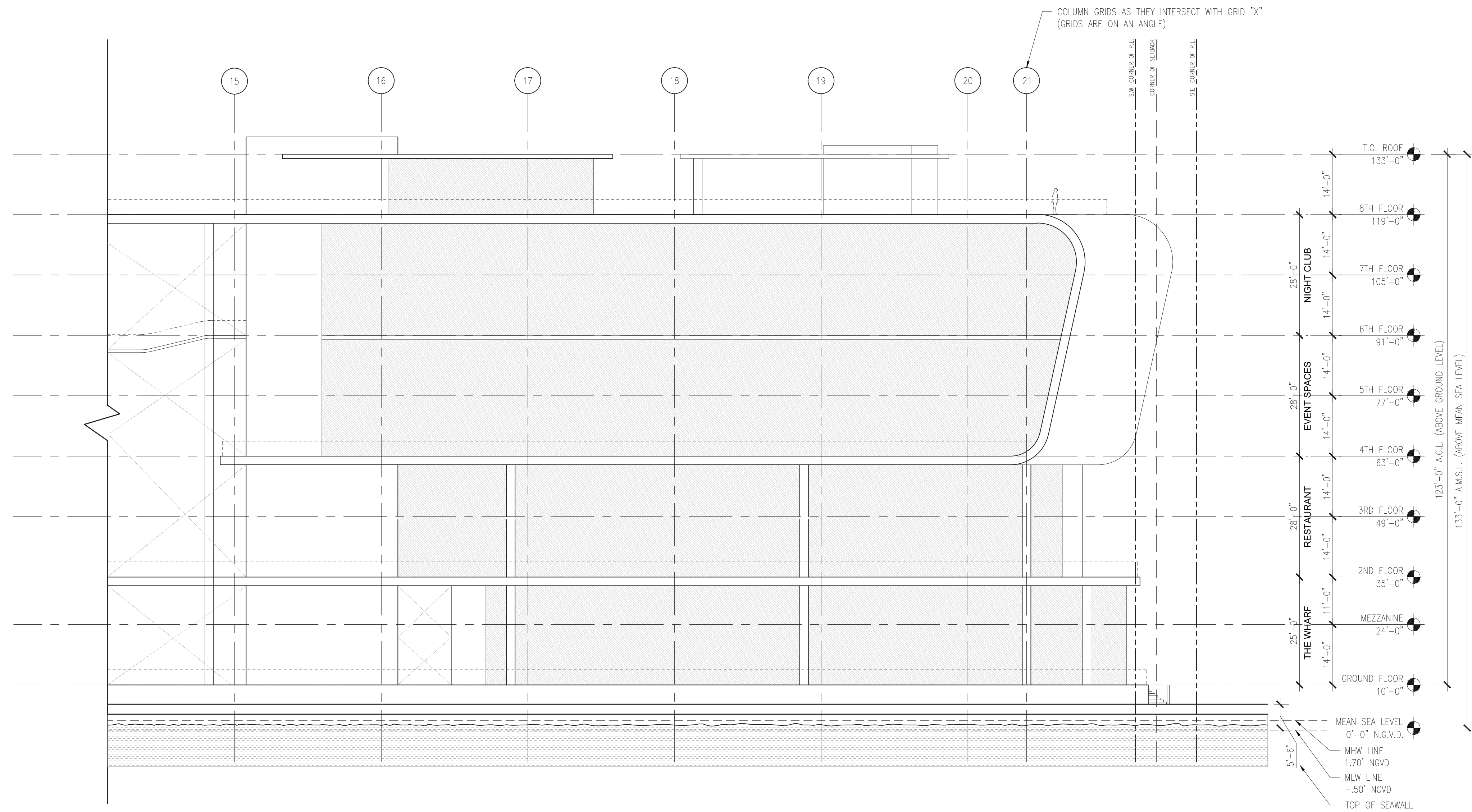
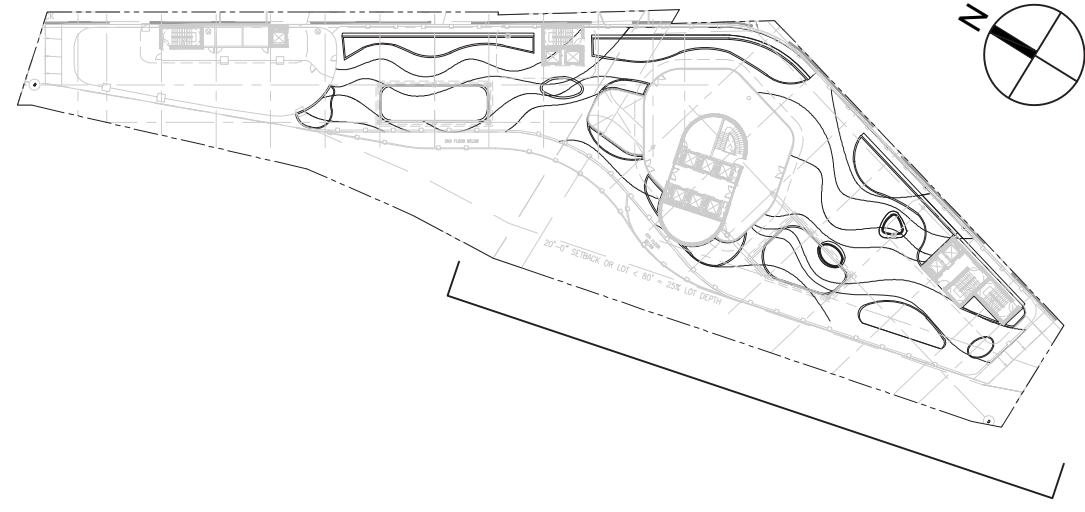
**South-West Elevation
(North Bldg.)**
Scale: 1/16" = 1'-0"

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A-203

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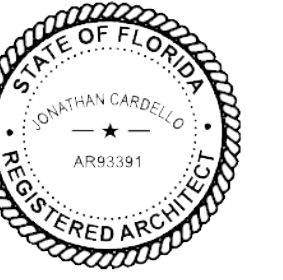




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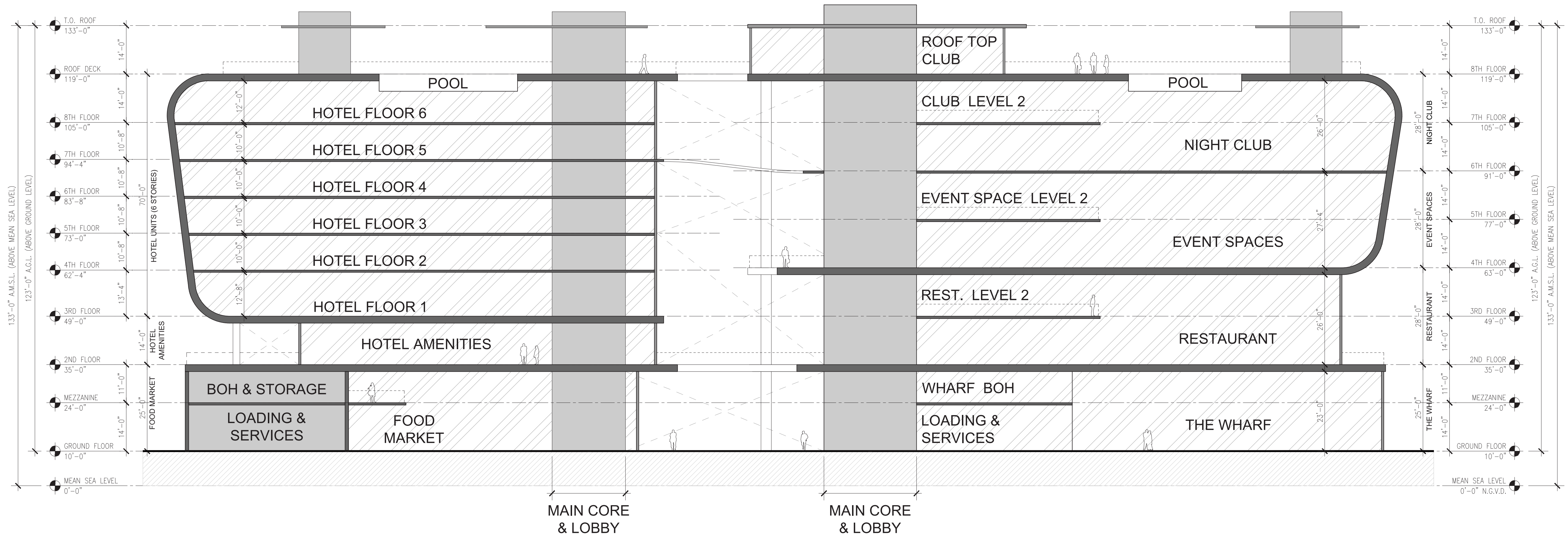
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**West Elevation
(South Bldg.)**
Scale: 1/16" = 1'-0"

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A-204

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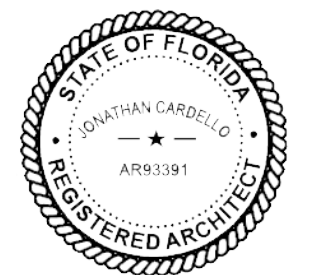
INTENT OF SECTION IS TO SHOW DESIGN, PROGRAM, HEIGHTS AND LEVEL ADJACENCIES FOR REFERENCE.



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Programmatic Building Section
Scale: 1/16" = 1'-0"

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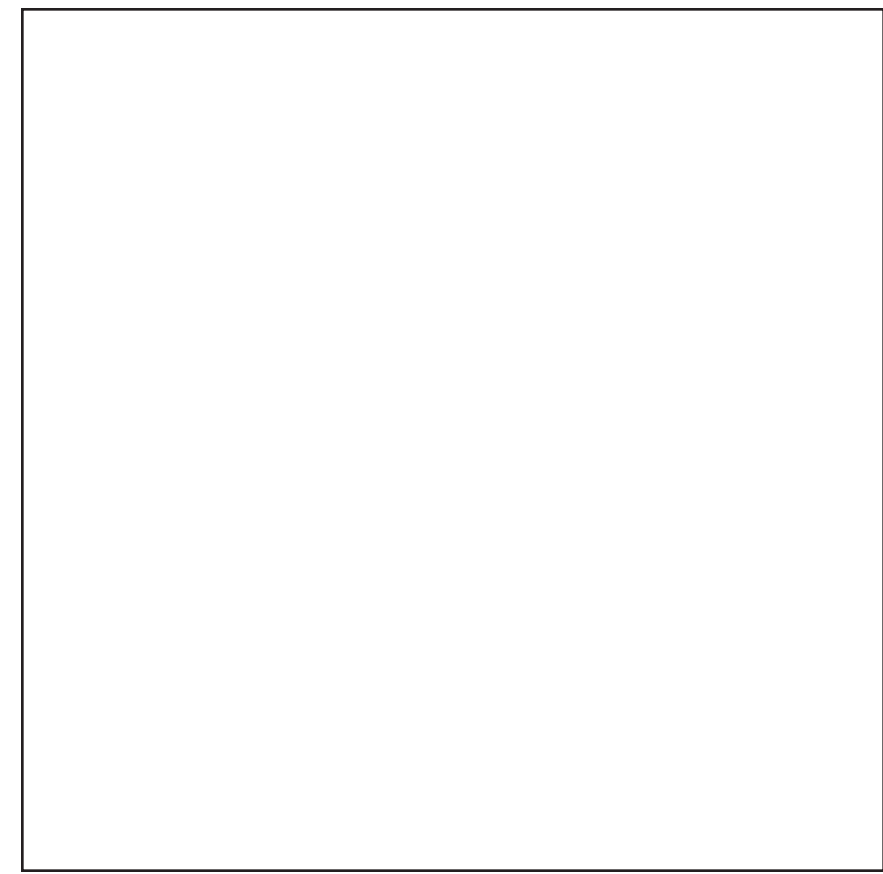
A-205

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A-300

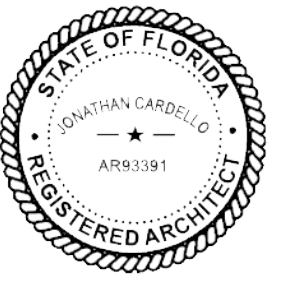
Project Imagery

- A-301 Rendering Aerial Across Miami River
- A-302 Rendering South on Miami River
- A-303 Rendering Close Aerial of Central Space
- A-304 Rendering Aerial of Highway Side
- A-305 Material Board
- A-306 Screen Details



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**RIVERSIDE
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Project Imagery

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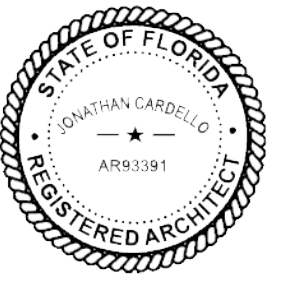
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**RIVERSIDE
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Miami, Florida

**Rendering Aerial
Across Miami River**
Not to Scale

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08 December 2021

A-301

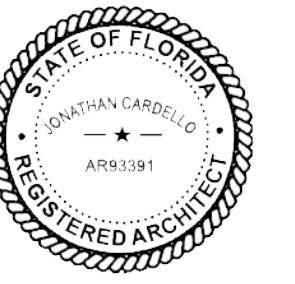
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**RIVERSIDE
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**Rendering South on
Miami River**
Not to Scale

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A-302

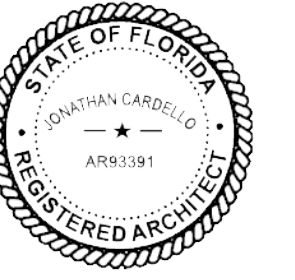
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**RIVERSIDE
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Miami, Florida

**Rendering Close Aerial
of Central Space**
Not to Scale

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A-303

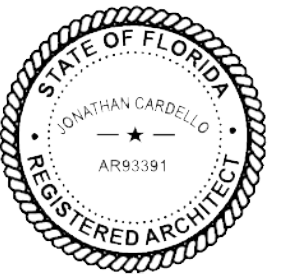
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**RIVERSIDE
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Miami, Florida

**Rendering Aerial
of Highway Side**
Not to Scale

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A-304

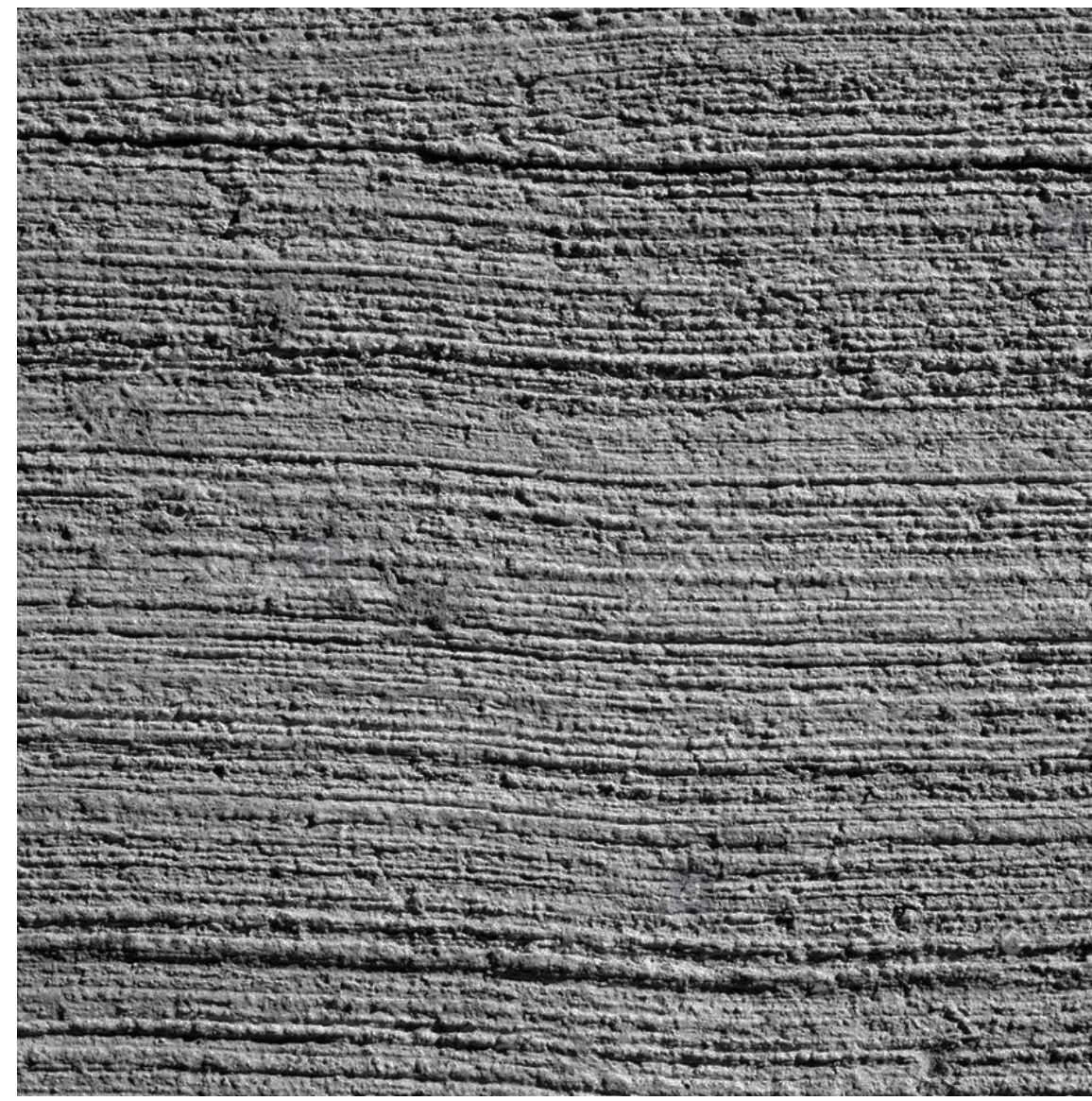
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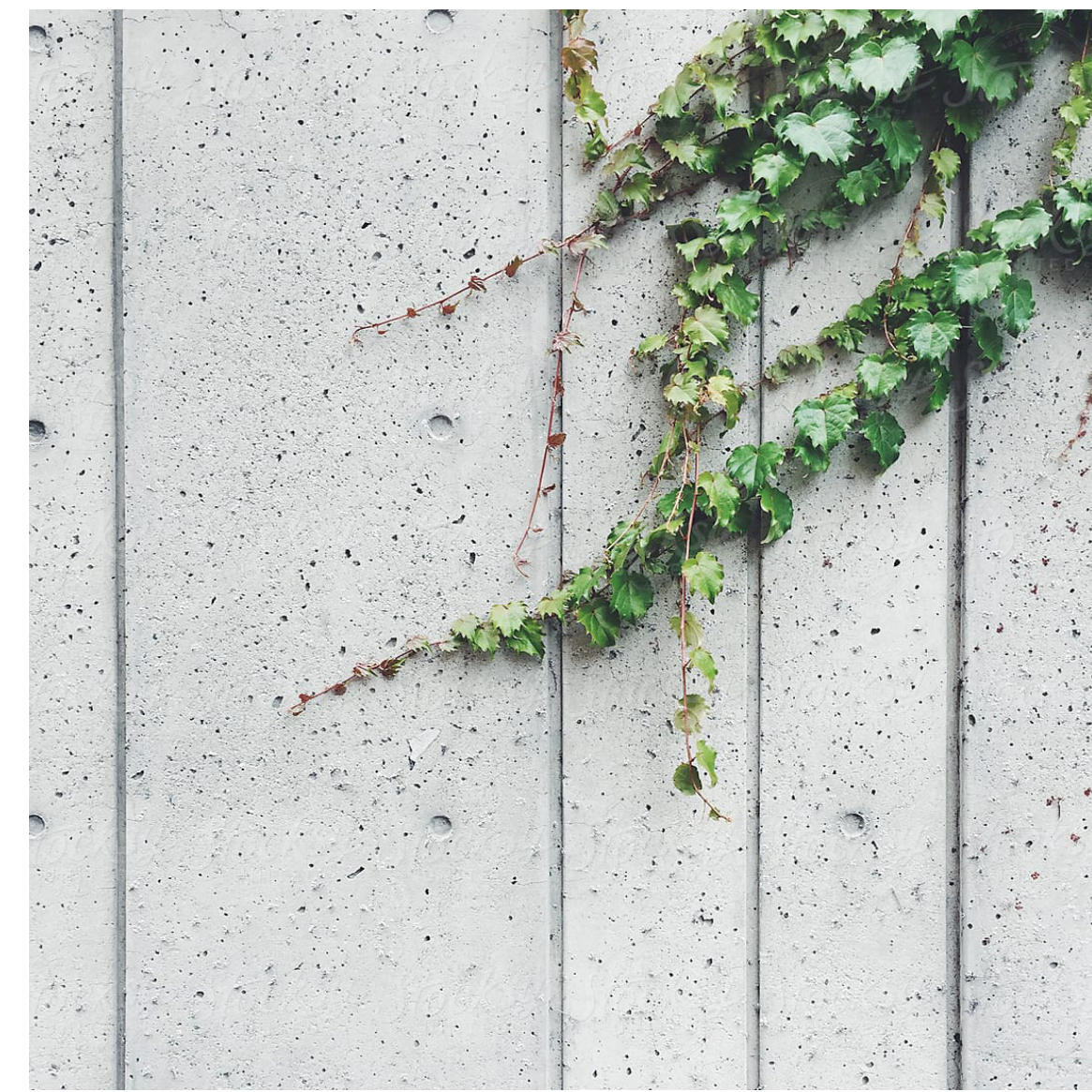
Stucco - Smooth
Color: Natural White



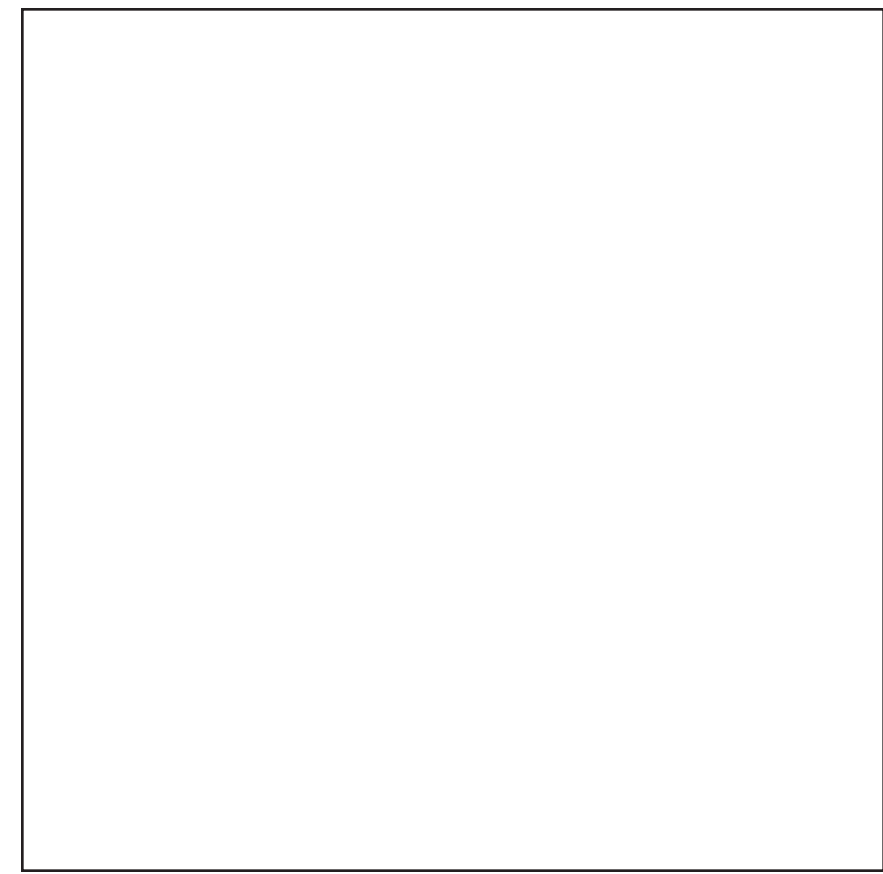
Concrete - Smooth
Color: Natural White



Concrete - Textured
Color: Natural Grey

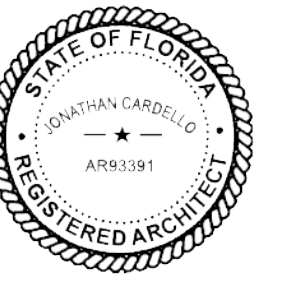


Concrete w/Vines



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Glass Window Wall
Glass: Clear | Frame: Clear Anodized Exposed

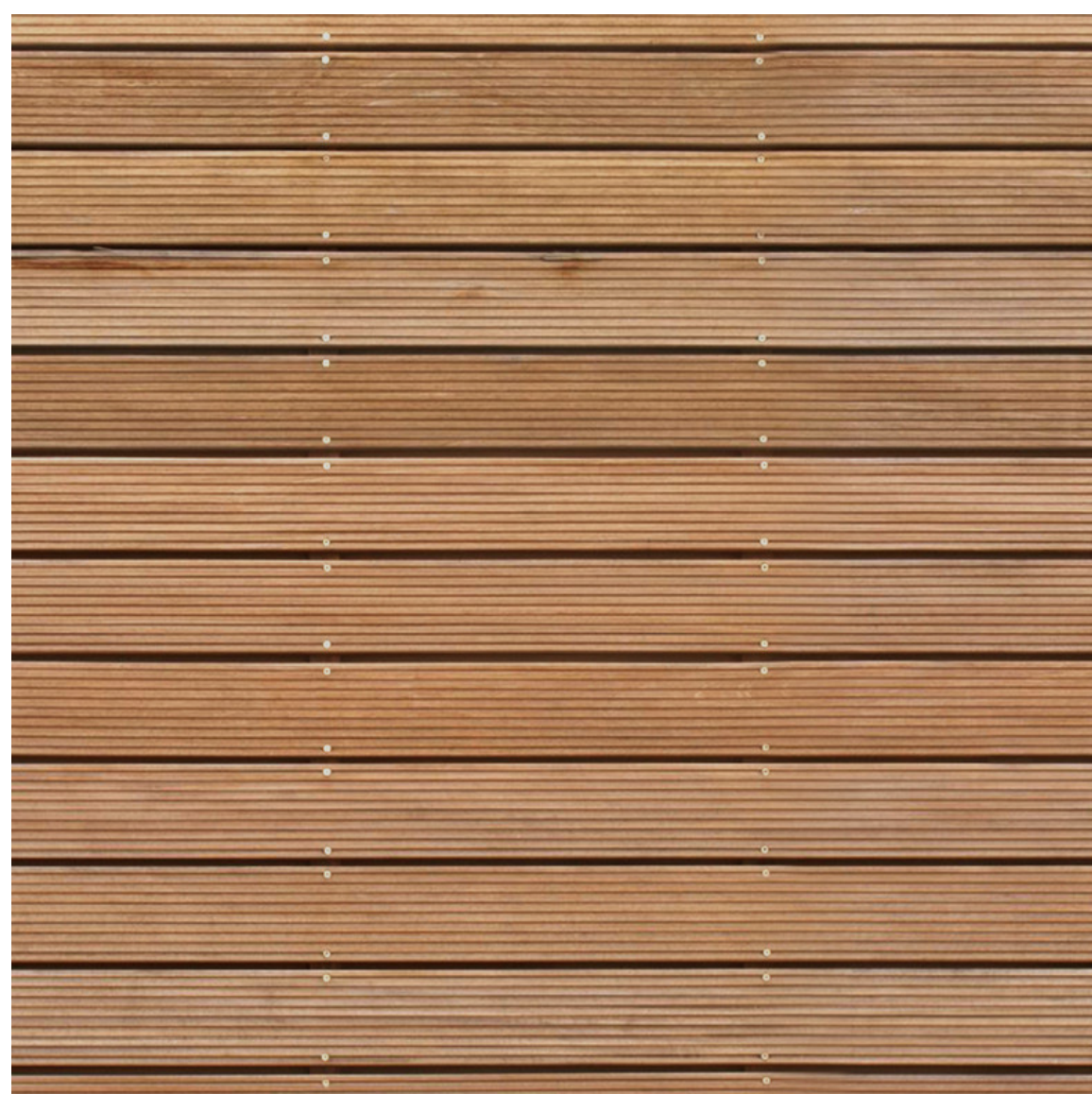


Sliding Glass Window Wall
Glass: Clear | Frame: Clear Anodized Exposed

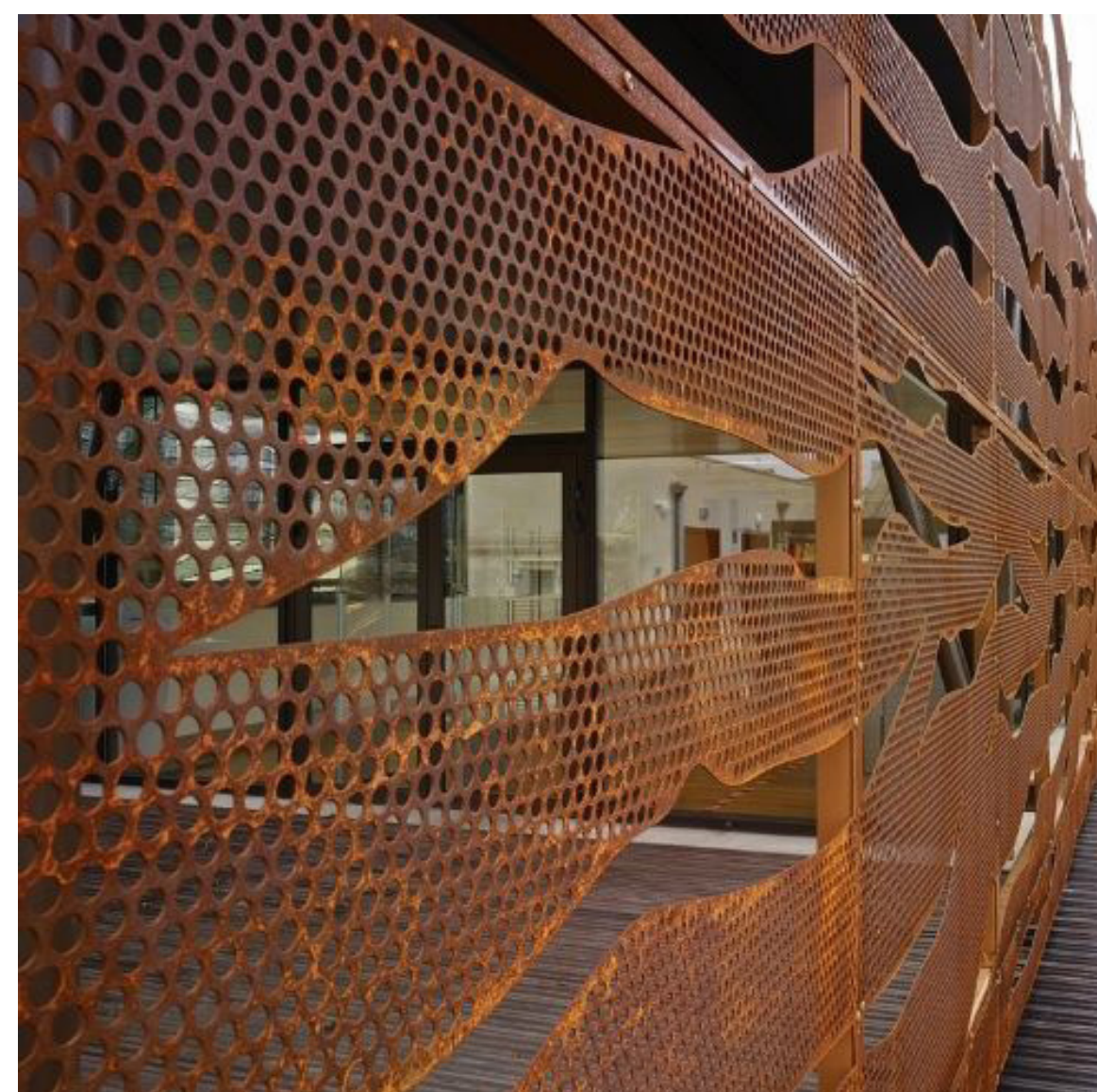


Concrete Column & Glass Window Wall

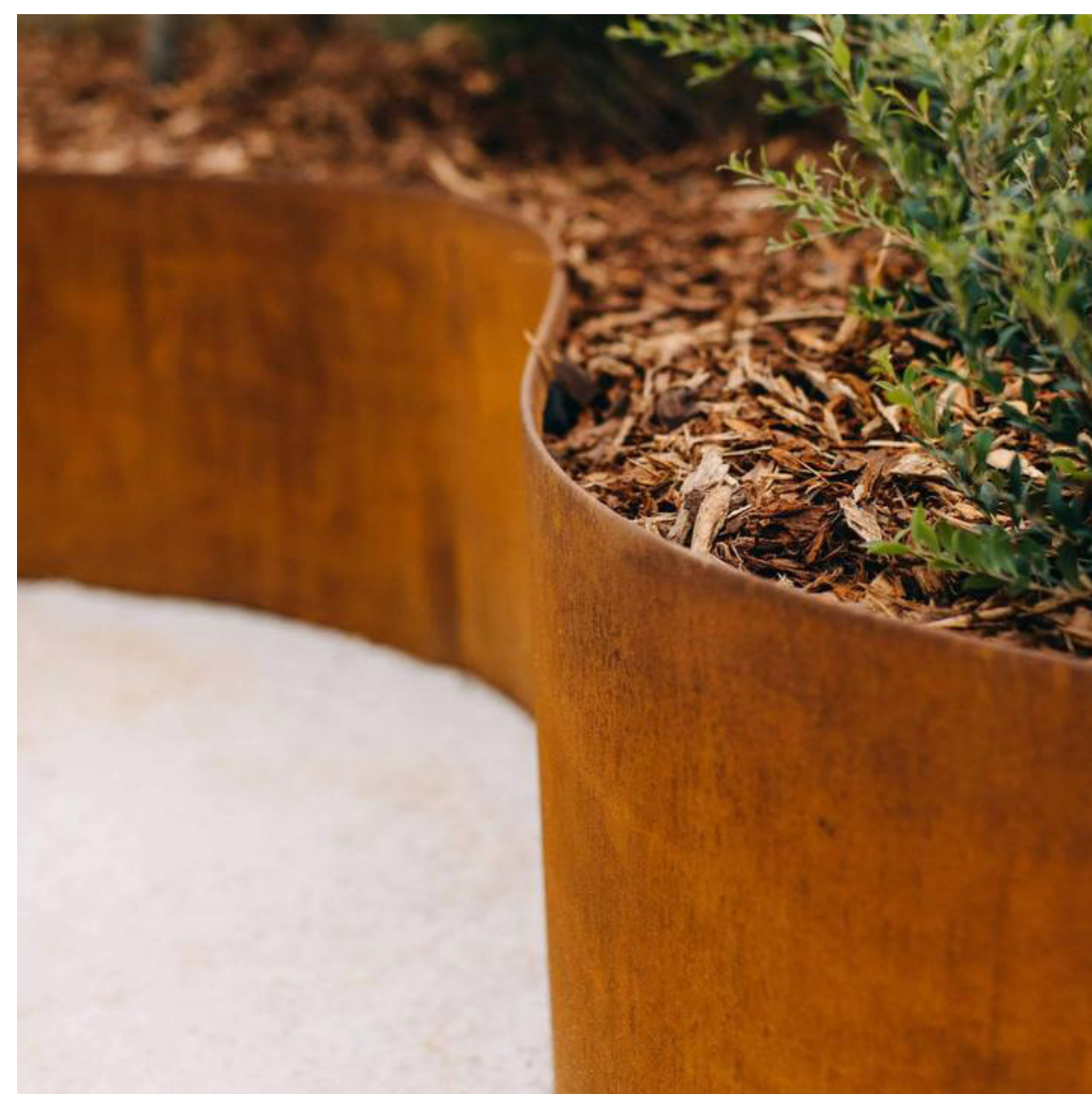
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Miami, Florida



Wood Decking
Color: Natural



Aluminum Louvered Screening
Color: Corten Steel



Corten Steel Planters



Steel plate Railings
Color: Black | Mesh or Wire

Material Board
Not to Scale

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08 December 2021

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Aluminum Louvered Screening
Color: Corten Steel

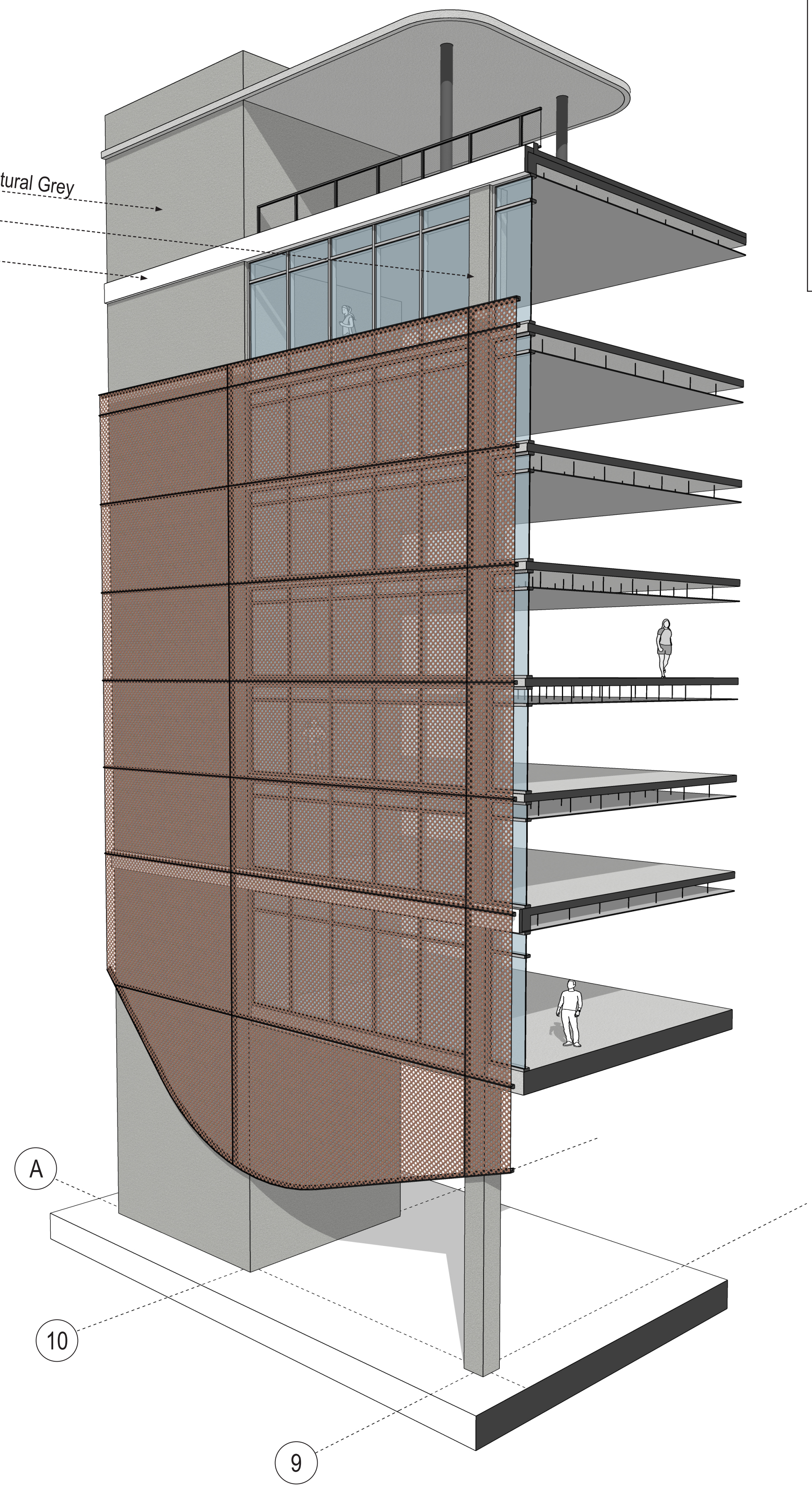
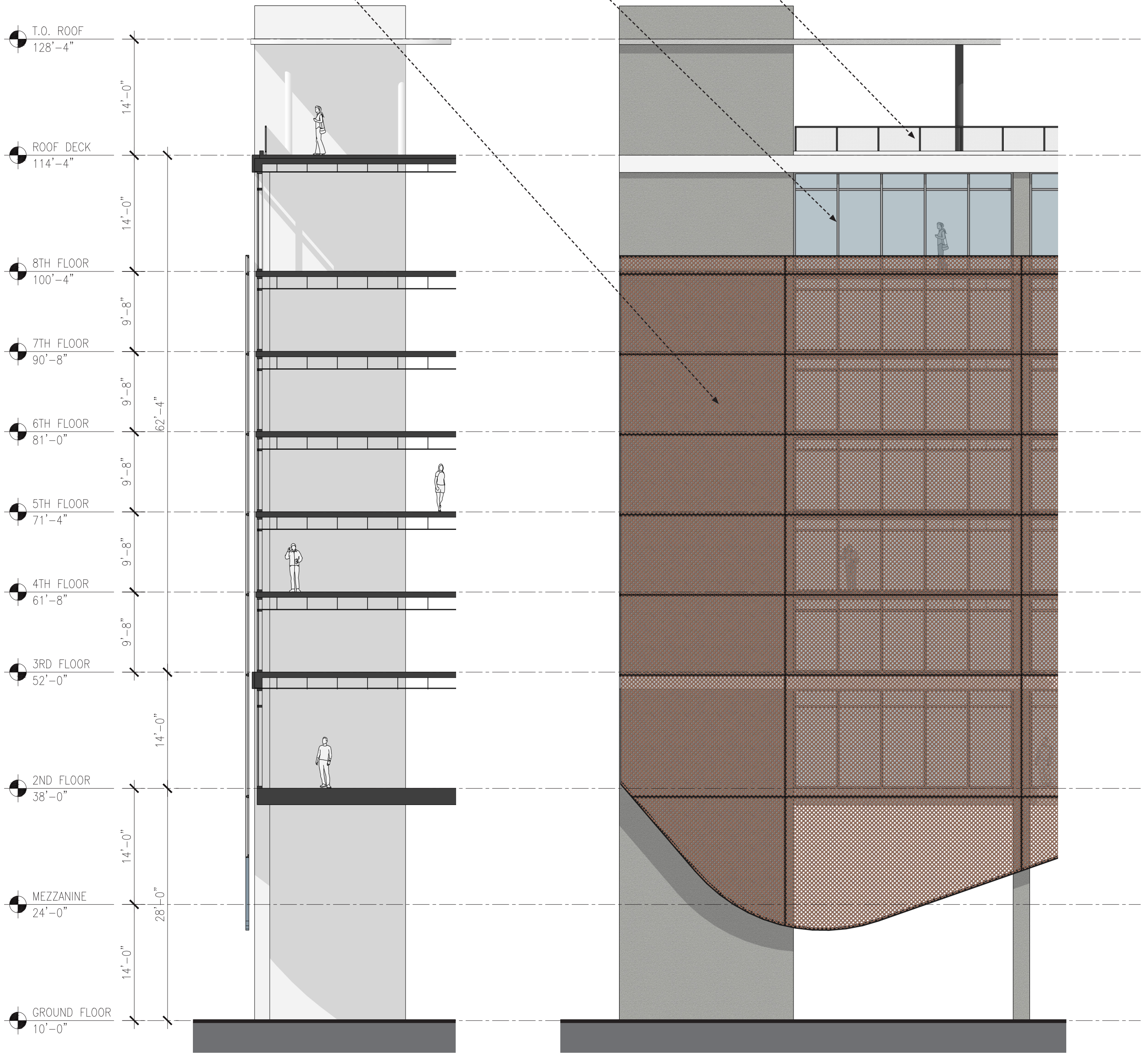
Glass Window Wall
Glass: Clear | Frame: Clear Anodized Exposed

Steel plate Railings
Color: Black | Mesh or Wire

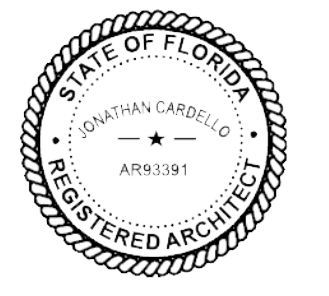
Stucco - Smooth Color: Natural White

Concrete - Smooth Color: Natural White

Concrete - Textured Color: Natural Grey



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RIVERSIDE WHARF
Miami, Florida

Screen Details

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08 December 2021

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SITE GENERAL NOTES

- All work and material shall comply with the current edition of the Florida Building Code, and all other applicable codes.
- The Contractor shall acquaint himself with the existing conditions of the site prior to construction.
- Contractor to verify all dimensions and conditions before proceeding with work. Any discrepancies between existing conditions, improvements shown on the drawings and specifications, etc. should be identified and communicated in writing for resolution by the Owner, before work commences. Written dimensions govern over plan scales or unwritten dimensions. **DO NOT SCALE DRAWINGS.**
- Coordinate all work with all subcontractors for verification of locations and dimensions of all work requirements to avoid interference with progress of construction.
- The Landscape Architect is not responsible or liable for the integrity or correctness of the existing conditions and its components. Project is based on plans and surveys provided by the Owner.
- The Contractor will secure and close all existing and new openings at the site perimeter at the end of each day's work.
- The contractor will provide adequate protection to all existing work, furnishings and fixtures that are to be retained so that they will not be damaged. Any on-site existing trees or palms specified for preservation or transplanting which are damaged or destroyed shall be replaced by GC.
- Contractor to verify existing grades shown on the survey to coordinate work shown on the drawings.
- All existing planting and other site features identified to remain or be preserved shall be properly protected during the construction process, including plant canopy and root zones. Additionally, existing planting to be retained shall be watered regularly in case of drought conditions or if plants indicate they are being stressed due to lack of water.
- All workmanship of Contractor shall be neat, clean, true, and correct.
- All existing utilities (plumbing, gas, electrical) not reused shall be properly removed, capped and/or sealed.
- Contractor shall obtain written approval for substitutions made in specified equipment, planting, materials and colors.
- All materials shall be new and shall bear Underwriters and Union labels where applicable.
- Submit shop drawings for Owner's approval of all items requiring fabrication. Do not fabricate until approved.
- Contractor is responsible to secure all construction materials stored at the job site.
- Storage of material: Contractor shall obtain owner approval for storing materials on the job site during construction.
- Insurance: Contractor shall keep full liability and workmen's compensation insurance for the project at all times during the progress of work.
- The Landscape Architect shall not have control of, charge of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any item to carry out the work in accordance with the contract documents.
- Testing of material: All the required tests shall be performed at the expense of the contractor and by an approved testing laboratory. The test results are to be submitted to the engineer.
- Trash: Contractor to remove all dust, trash, debris resulting from construction from the premises and restore the premises to a clean condition.

HARDSCAPE GENERAL NOTES

- The Owner's Engineer will be responsible for insuring the structural integrity and compliance with all local codes for all elements designed on this sheet.
- See Civil Drawings for all exterior finished grades at curbing, streets, driveways, utilities, amenity levels, roof levels and drainage structures.
- Contractor shall verify all dimensions and elevations on site prior to beginning construction, and any discrepancies shall be brought to the immediate attention of the Owner and Landscape Architect.
- Contractor shall stake the layout plan (or retain a registered surveyor, if required) in the field and have such staking approved by the Owner and Landscape Architect prior to proceeding with construction. The building contractor shall report all layout discrepancies immediately to the Owner and Landscape Architect for decision.
- Contractor is responsible for location and protection of all existing underground and aboveground utilities, asphalt, curbs, walks, above ground structures and vegetation as noted on the landscape plans.
- All dimensions are to face of curb unless otherwise noted.
- All planters are flush to paving surface unless otherwise noted.
- All Planter dimensions indicate open planting zone, and do not include structural planter walls.
- All angles are 90 degrees unless otherwise noted.
- All subbase and compacted Limerock requirements shall be per Miami Dade County Requirements.

ABBREVIATIONS

ABOV. Above	— · — · — · — · — · — · — · — · — · —	PL	PROPERTY LINE
ASPH. Asphalt	—————	M	MONUMENT LINE
BLDG. Building	—————	C	CENTER LINE
CL Center Line	—————		LIMIT OF WORK LINE
Conc. Concrete	—————		MATCH LINE
DN Down	—————		OVERHEAD/ABOVE
F.F.E. Finish Floor Elevation	—————	ABV	OVERHEAD WIRE
max. Maximum	—————		ROOT BARRIER
min. Minimum	—————		
ML Monument Line	—————		
PL Property Line	—————		
PInt. Planting Area	—————		
QNTY Quantity	—————		
SDWK Sidewalk	—————		
T.O.W. Top of Wall	—————		
Typ. Typical	—————		
UP Up	—————		

SHEET INDEX

L- 00	Landscape General Notes & Landscape Legend
L-1.0	Tree Mitigation Plan & Schedule
L-1.1	Ground Level - Planting Plan
L-1.2	Ground Level - Hardscape
L-1.2	Ground Level - Lighting Plan
L-5.0	Rooftop - Planting Plan
L-5.1	Rooftop - Hardscape Plan
L-6.0	Planting Schedule
L-6.1	Typical Planting Details
L-6.2	Riverwalk Sections
L-6.3	Riverwalk Sections
L-6.4	Riverwalk Sections
L-6.5	Riverwalk Sections



LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Transect Zone: D3	Lot Area 58,753	Acres 1.35
OPEN SPACE		
A. Square feet of required Open Space, as indicated on site plan: Lot Area = 58,753 s.f. x 5% = 2,938 s.f.	REQUIRED/ALLOWED	PROVIDED
	2,938	17,566
B. Square feet of parking lot open space required by Article 9, as indicated on site plan: Number of parking spaces 177 x 10 s.f. per parking space =	1,770	Off-Site Parking
C. Total square feet of landscaped open space required: A+B=	4,708	17,566
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required by Miami21:	2,938	6185
B. Maximum lawn area (sod) permitted = 20% x 58,753 s.f.	11,751	0
TREES		
A. Number of trees required per net lot acre, less existing number of trees meeting minimum requirements = 15 trees x 1.35 net lot acres - number of existing trees =	20.25	35
B. % Palms allowed: Number of trees provided x 30% =	10.5	45
C. % Natives required: Number of trees provided x 30% =	10.5	33
D. % Drought tolerant and low maintenance: Number of trees provided x 20% =	7	33
E. Street Trees (maximum average spacing of 30' o.c.): 400 linear feet along street / 30 =	13.3	9
% Palms permitted to count towards street trees on 1:1 basis x 30%:	13.3	4
F. Street trees located directly beneath power lines: (maximum average spacing of 25' o.c.): 25 linear feet along street / 25 =	n/a	n/a
SHRUBS		
A. Number of shrubs required: Number of trees required x 10 =	133	998
B. % Native shrubs required: Number of shrubs provided x 30% =	299	853
C. % Drought tolerant and low maintenance required: Number of shrubs provided x 20% =	200	853

GENERAL SYMBOL LEGEND

	GATE
	BOLLARD
	TRASH RECEPTACLE
	TABLE AND 4 CHAIRS, ROUND
	TABLE AND 4 CHAIRS, SQUARE
	BICYCLE RACK
	TABLE AND 2 CHAIRS
	CHAISE LOUNGE
	BISTRO TABLE AND 2 CHAIRS
	BENCH
	CUSTOM STONE BENCH

DRAWING SYMBOL LEGEND

	STEPS
	RAMPS
	ELEVATION MARKER
	SECTION MARKER
	ENLARGEMENT

PLANTING SYMBOL LEGEND

	PLANTING AREA
	PLANT TAG
	PLANT QNTY



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Barry.R.Miller, RLA



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Landscape

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08 December 2021

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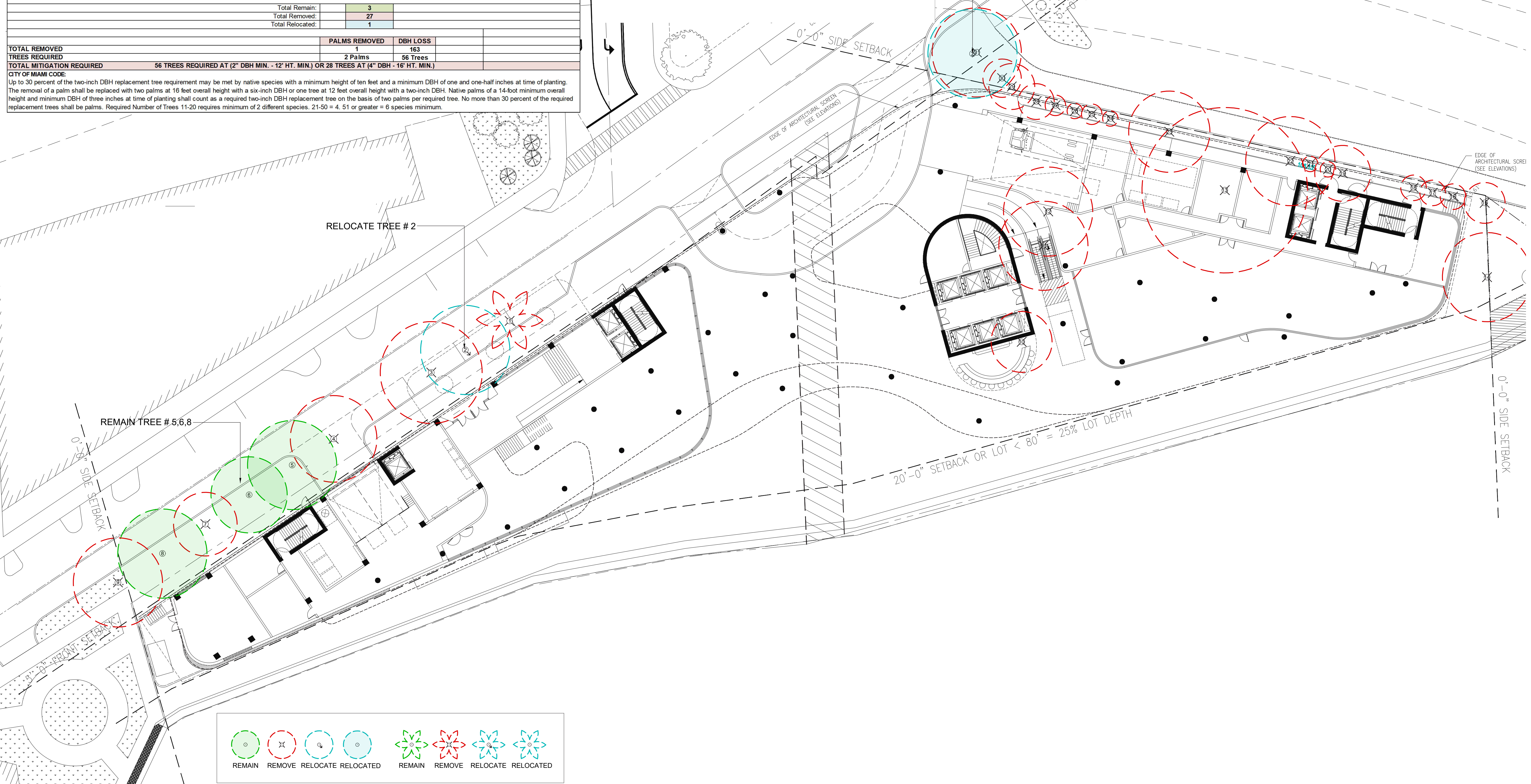
ITEM	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HT (FT)	SP (FT)	CONDITION	TPZ	DISPOSITION	PALM LOSS	DBH LOSS (in)	REASON - NOTES
1	Cocos nucifera	Coconut palm	10	28	26	Good		Remove	1		
2	Swietenia mahagoni	Mahogany	17	40	35	Good	15'	Relocate			Relocating within project site
3	Swietenia mahagoni	Mahogany	15	45	40	Good		Remove		15	Relocating within project site
4	Swietenia mahagoni	Mahogany	16	30	34	Poor		Remove		16	Poor Condition
5	Swietenia mahagoni	Mahogany	10	40	35	Good	12'	Remain			Poor Condition
6	Swietenia mahagoni	Mahogany	12	60	30	Moderate	12'	Remain			Poor Condition
7	Swietenia mahagoni	Mahogany	7	35	25	Moderate		Remove		7	Poor Condition
8	Swietenia mahagoni	Mahogany	14	50	35	Moderate	15'	Remain			Poor Condition
9	Swietenia mahagoni	Mahogany	13	40	35	Moderate		Remove		13	Poor Condition
10	Leucaena leucocephala	Lead tree	7	20	24	Invasive		Remove		n/a	Invasive Species
11	Schinus terebinthifolius	Brazilian pepper	15	35	35	Invasive		Remove		n/a	Invasive Species
12	Ficus benjamina	Weeping fig	11	30	35	Poor		Remove		11	Poor Condition
13	Ficus aurea	Strangler fig	40	45	65	Poor		Remove		40	Poor Condition
14	Schinus terebinthifolius	Brazilian pepper	18	28	35	Invasive		Remove		n/a	Invasive Species
15	Ficus benjamina	Weeping fig	6	25	16	Poor		Remove		6	Poor Condition
16	Ficus benjamina	Weeping fig	6	22	10	Poor		Remove		6	Poor Condition
17	Ficus benjamina	Weeping fig	7	22	10	Poor		Remove		7	Poor Condition
18	Ficus benjamina	Weeping fig	4	16	10	Poor		Remove		4	Poor Condition
19	Schinus terebinthifolius	Brazilian pepper	16	24	22	Invasive		Remove		n/a	Invasive Species
20	Ficus benjamina	Weeping fig	3	15	6	Poor		Remove		3	Poor Condition
21	Ficus benjamina	Weeping fig	3	15	6	Poor		Remove		3	Poor Condition
22	Schinus terebinthifolius	Brazilian pepper	9	22	35	Invasive		Remove		n/a	Invasive Species
23	Leucaena leucocephala	Lead tree	8	40	32	Invasive		Remove		n/a	Invasive Species
24	Ficus benjamina	Weeping fig	3	16	6	Poor		Remove		3	Poor Condition
25	Ficus benjamina	Weeping fig	3	16	8	Poor		Remove		3	Poor Condition
26	Ficus benjamina	Weeping fig	4	15	8	Poor		Remove		4	Poor Condition
27	Ficus benjamina	Weeping fig	3	14	8	Poor		Remove		3	Poor Condition
28	Ficus benjamina	Weeping fig	6	23	14	Poor		Remove		6	Poor Condition
29	Schinus terebinthifolius	Brazilian pepper	8	26	18	Invasive		Remove		n/a	Invasive Species
30	Schinus terebinthifolius	Brazilian pepper	7	28	15	Invasive		Remove		n/a	Invasive Species
31	Ficus benjamina	Weeping fig	13	35	35	Poor		Remove		13	Poor Condition

Total Remain:	3
Total Removed:	27
Total Relocated:	1

TOTAL REMOVED TREES REQUIRED	PALMS REMOVED	DBH LOSS
TOTAL MITIGATION REQUIRED	2 Palms	163
CITY OF MIAMI CODE	56 TREES REQUIRED AT (2" DBH MIN. - 12' HT. MIN.) OR 28 TREES AT (4" DBH - 16' HT. MIN.)	56 Trees

Up to 30 percent of the two-inch DBH replacement tree requirement may be met by native species with a minimum height of ten feet and a minimum DBH of one and one-half inches at time of planting. The removal of a palm shall be replaced with two palms at 16 feet overall height with a six-inch DBH or one tree at 12 feet overall height with a two-inch DBH. Native palms of a 14-foot minimum overall height and minimum DBH of three inches at time of planting shall count as a required two-inch DBH replacement tree on the basis of two palms per required tree. No more than 30 percent of the required replacement trees shall be palms. Required Number of Trees 11-20 requires minimum of 2 different species. 21-50 = 4, 51 or greater = 6 species minimum.

QTY	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HT (FT)	SP (FT)	NATIVE	DBH
6	Bursera simaruba	Gumbo Limbo	4	16	12	N	24
2	Kigelia pinnata	Sausage Tree	4	16	12	N	8
3	Lysiloma latisiliqua	Wild Tamarind	4	16	12	N	12
1	Swietenia mahagoni	Mahogany	4	16	12	N	4
DBH: 48							
Upper Level Planting							
2	Coccoloba uvifera	Sea Grape	6	22	14	N	12
DBH: 12							
TOTAL DBH: 60							
14 28 Required 4" DBH Trees - 9 Proposed 4" DBH Trees = 19 = 38 Trees Required at 2" DBH Remaining							
PROPOSED 3 1/2" DBH:							
20	Conocarpus erectus	Green Buttonwood	3	12	8	N	60
3	Conocarpus erectus 'sericeus'	Silver Buttonwood	3	12	7	N	9
DBH: 69							
Upper Level Planting - 2nd, 4th, 6th and Roof Level							
3	Conocarpus erectus	Green Buttonwood	3	12	8	N	9
4	Conocarpus erectus 'sericeus'	Silver Buttonwood	3	12	7	N	12
1	Noronhia emarginata	Madagascar Olive	2	12	8	N	2
7	Myrcianthes fragrans*	Simpson Stopper*	1.5	10	6	N	10.5
DBH: 33.5							
TOTAL DBH: 102.5							
38 38 Required 2" DBH Trees - 38 Proposed 2" DBH Trees = Mitigation Requirement Met							
MIN. NUMBER OF SPECIES REQUIRED							
Required: 6				DBH REPLACEMENT IN INCHES			
Proposed: 11				Total DBH Removed: 183			
				Total DBH Replaced: 162.5			
*30% of 2" DBH Required may be Native Trees at 10' HT and 1 1/2" DBH. Max: 13, Proposed: 4							



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RIVERSIDE WHARF
Miami, Florida

TREE MITIGATION PLAN
Scale: 1" = 20'-0"

MRC Submission
08 December 2021

L-1.0

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HARDSCAPE SCHEDULE					
PATTERN	KEY	DESCRIPTION / SIZE	QTY	SPECS	LOCATION/NOTES
	①	CONCRETE, INTEGRAL COLOR WITH EXPOSED AGGREGATE	24,564	MESA BEIGE SCOPFIELD C-12 WITH EXPOSED #3 COQUINA SHELL AGGREGATE, LIGHT SANDBLAST FINISH	SIDEWALK & ATRIUM TERRACE & STEPS DOWN TO RIVERWALK
	②	PERMEABLE CONCRETE PLANK PAVERS (PEDESTRIAN)	6,188	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	RIVERWALK
	③	PERMEABLE CONCRETE PLANK PAVERS (VEHICULAR)	16,874	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN, 2 COLORS	DRIVEWAY & TURN AROUND
	④	CONCRETE PAVERS WITH EXPOSED AGGREGATE	6,918	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
	⑤	CONCRETE PAVERS WITH EXPOSED AGGREGATE	7,495	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
	⑥	TREE GRATES	742	CORTEN STEEL	RIVERWALK
	⑦	ARTIFICIAL GRASS	3,827	TBD	ATRIUM / GAME AREA
	⑧	WOOD DECK	5,773	TBD	ATRIUM
	⑨	RIVERROCK ON MORTAR BED	5,773	3' WIDE	RIVERWALK, ALONG SEAWALL

NOTE: QUANTITIES INCLUDE 5% OVERAGE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES OF MATERIALS INDICATED TO COMPLETE WORK



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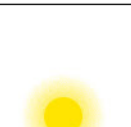
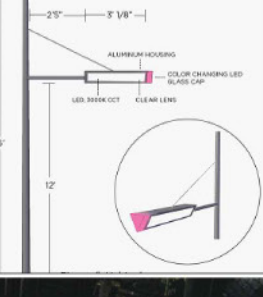




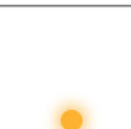

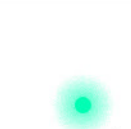
RIVERSIDE WHARF
Miami, Florida

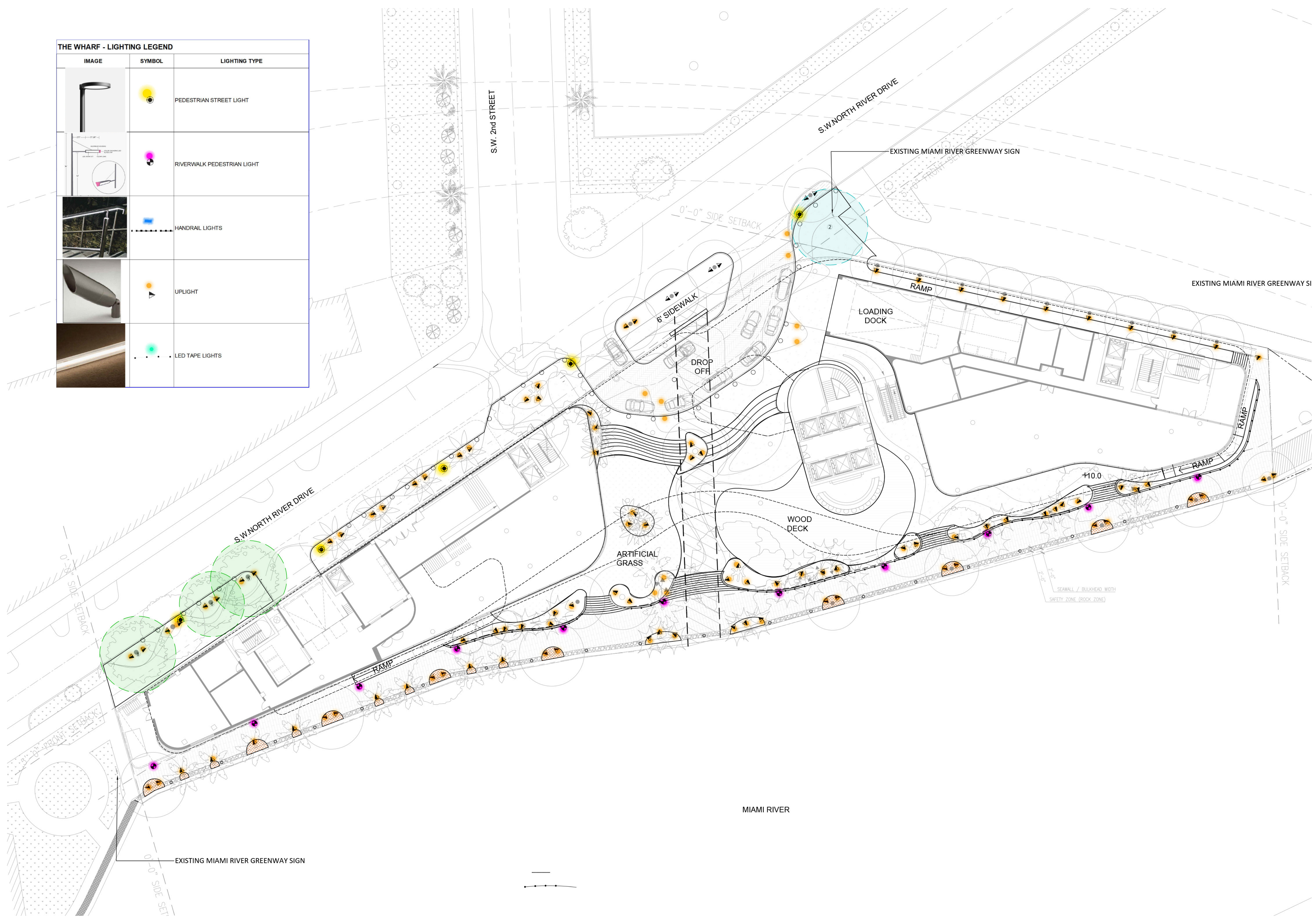
GROUND LEVEL HARDSCAPE
Scale: 1" = 20'-0"

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L-1.2

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IMAGE	SYMBOL	LIGHTING TYPE
		PEDESTRIAN STREET LIGHT
		RIVERWALK PEDESTRIAN LIGHT
		HANDRAIL LIGHTS
		UPLIGHT
		LED TAPE LIGHTS



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GROUND LEVEL LIGHTING PLAN
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THE WHARF - PLANTING SCHEDULE - UDRB - ROOF LEVEL		
TREES	Quantity	Botanical/Common
COU	2	Coccoloba uvifera / Seagrape
COE-S	4	Conocarpus erectus 'sericeus' / Silver Buttonwood
MYF	7	Myrcianthes fragans / Simpson Stopper
NOE	1	Noronhia emarginata / Madagascar Olive
Total	14	
PALMS	Quantity	Botanical/Common
CON	12	Cocos nucifera 'Malayan' / Malayan Coconut Palm
SAP	32	Sabal palmetto / Sabal Palm
Total	44	
SHRUBS	Quantity	Botanical/Common
MUC	37	Muhlenbergia capillaris / Pink Muhly Grass
SPP	46	Spathoglottis plicata / Ground Orchid
TRM	458	Trimezia martinicensis / Yellow Walking Iris
ZAP	155	Zamia pumila / Coontie
Total	696	
GROUNDCOVERS	Quantity	Botanical/Common
ARG	132	Arachis glabrata / Perennial Peanut
Total	132	
SOD		
ZOY	582	Zoysia 'Cashmere' Sod

*NOTES: SEE FULL PLANTING SCHEDULE ON LH-6.0



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ROOFTOP
PLANTING PLAN
Scale: 1" = 20'-0"



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HARDSCAPE SCHEDULE					
PATTERN	KEY	DESCRIPTION / SIZE	QTY	SPECS	LOCATION/NOTES
	①	CONCRETE, INTEGRAL COLOR WITH EXPOSED AGGREGATE	24,564	MESA BEIGE SCOPFIELD C-12, WITH EXPOSED #3 COQUINA SHELL AGGREGATE, LIGHT SANDBLAST FINISH	SIDEWALK & ATRIUM TERRACE & STEPS DOWN TO RIVERWALK
			SF	ALT.- PERLATINO (EARTH SURFACE OF ARMERICA)	
	②	PERMEABLE CONCRETE PLANK PAVERS (PEDESTRIAN)	6,188	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	RIVERWALK
			SF		
	③	PERMEABLE CONCRETE PLANK PAVERS (VEHICULAR)	16,874	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN, 2 COLORS	DRIVEWAY & TURN AROUND
			SF		
	④	CONCRETE PAVERS WITH EXPOSED AGGREGATE	6,918	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
			SF		
	⑤	CONCRETE PAVERS WITH EXPOSED AGGREGATE	7,495	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
			57		
	⑥	TREE GRATES	742	CORTEN STEEL	RIVERWALK
	⑦	ARTIFICIAL GRASS	3,827	TBD	ATRIUM / GAME AREA
			SF		
	⑧	WOOD DECK	5,773	TBD	ATRIUM
			SF		
	⑨	RIVERROCK ON MORTAR BED	5,773	3' WIDE	RIVERWALK, ALONG SEAWALL
			SF		

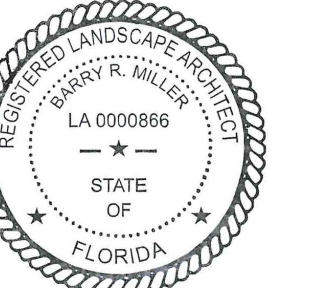
NOTE: QUANTITIES INCLUDE 5% OVERAGE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES OF MATERIALS INDICATED TO COMPLETE WORK



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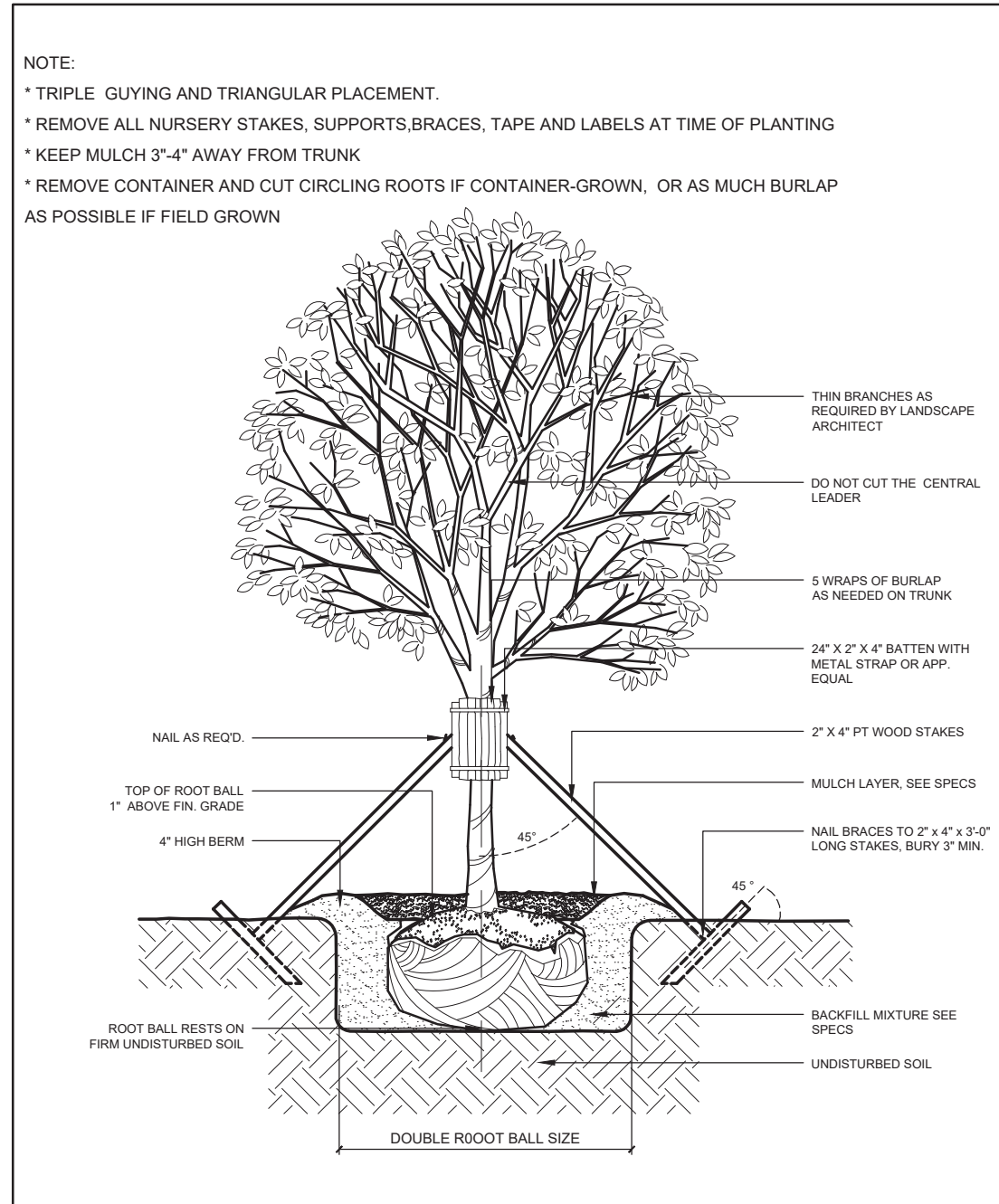
ROOFTOP
HARDSCAPE PLAN
-REVISION 2
Scale: 1" = 20'-0"



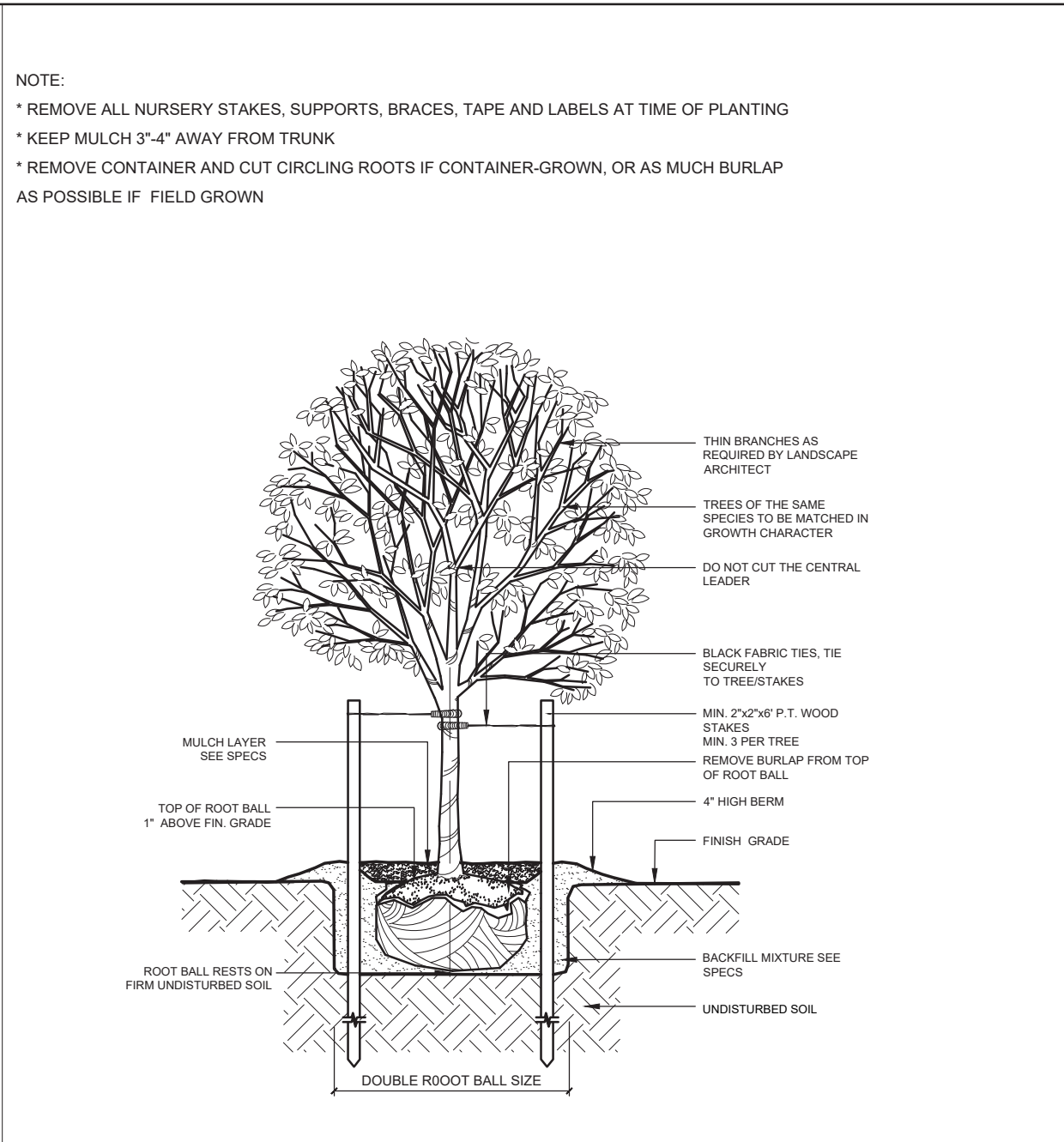
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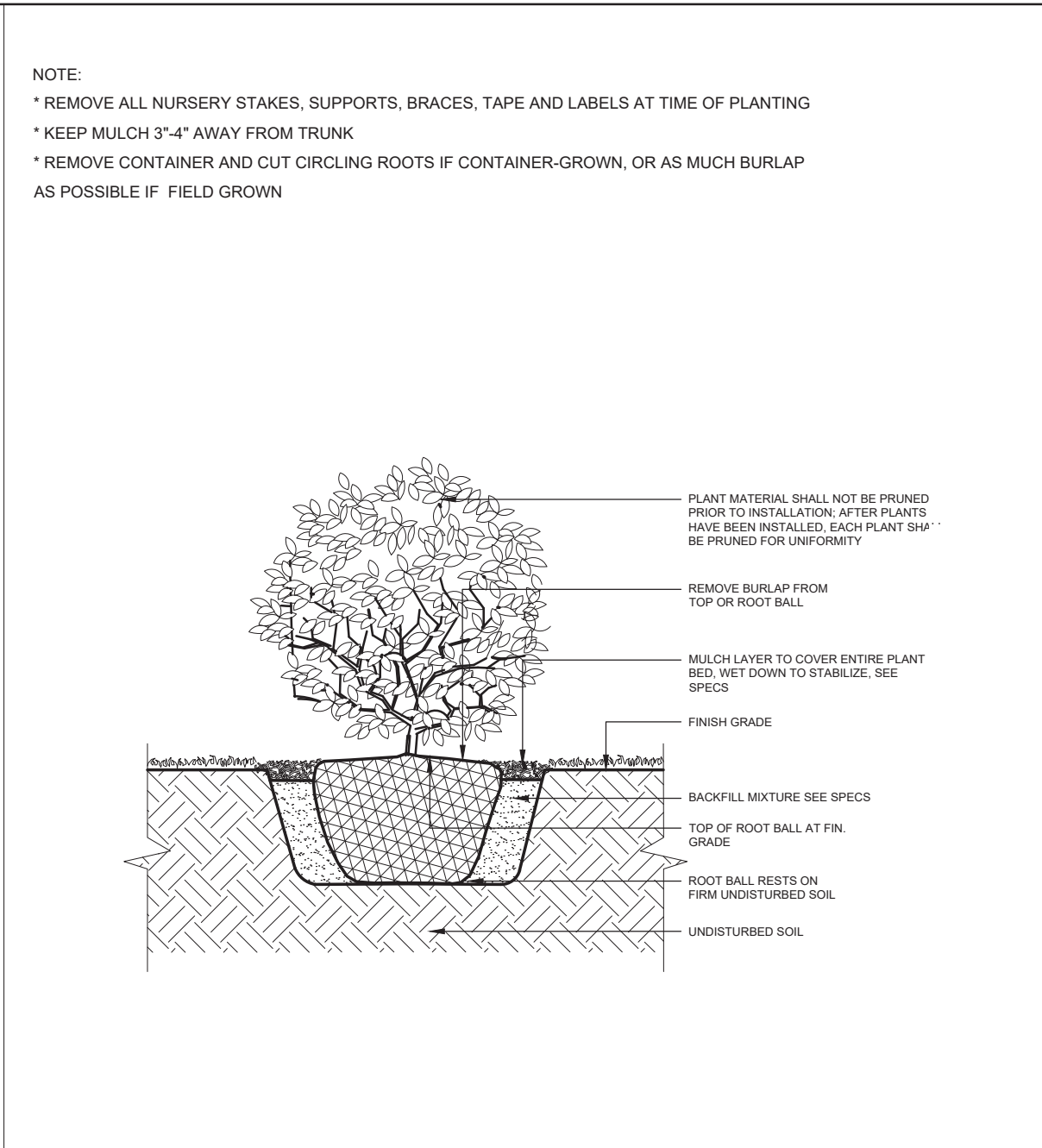
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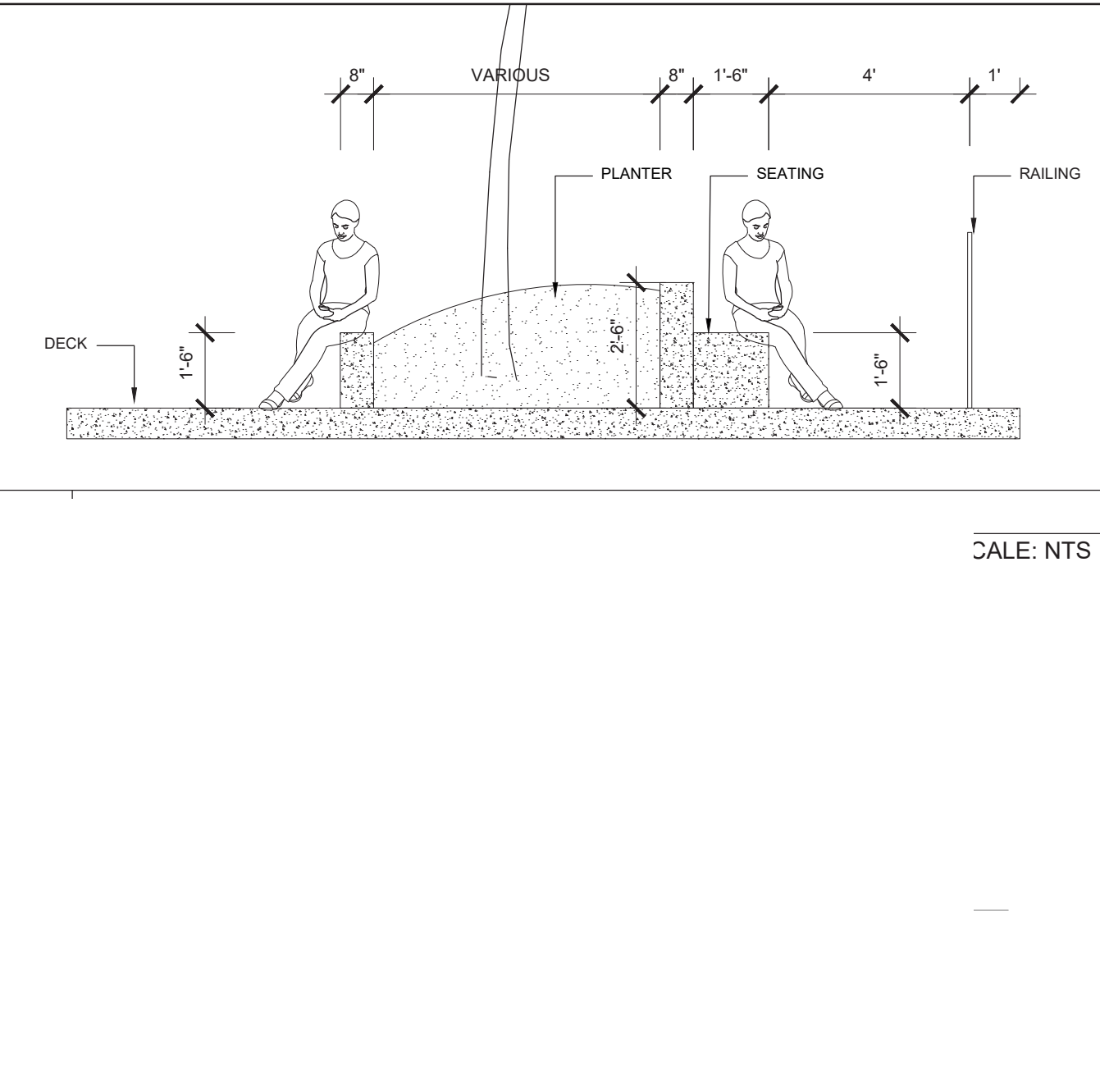
1 TYPICAL DETAIL: LARGE TREE PLANTING & STAKING
 SCALE: NTS



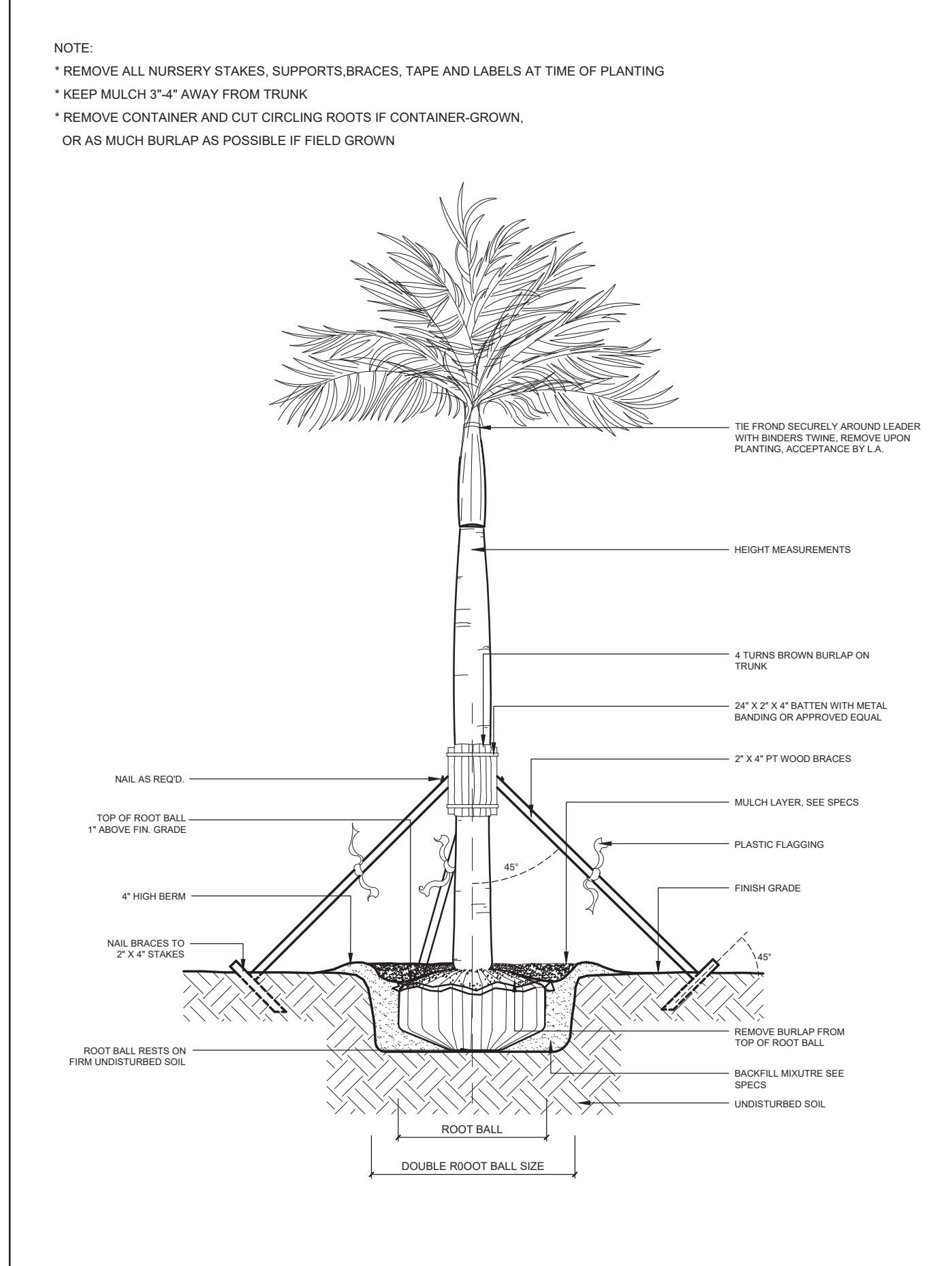
2 TYPICAL DETAIL: SMALL TREE PLANTING & STAKING
 SCALE: NTS



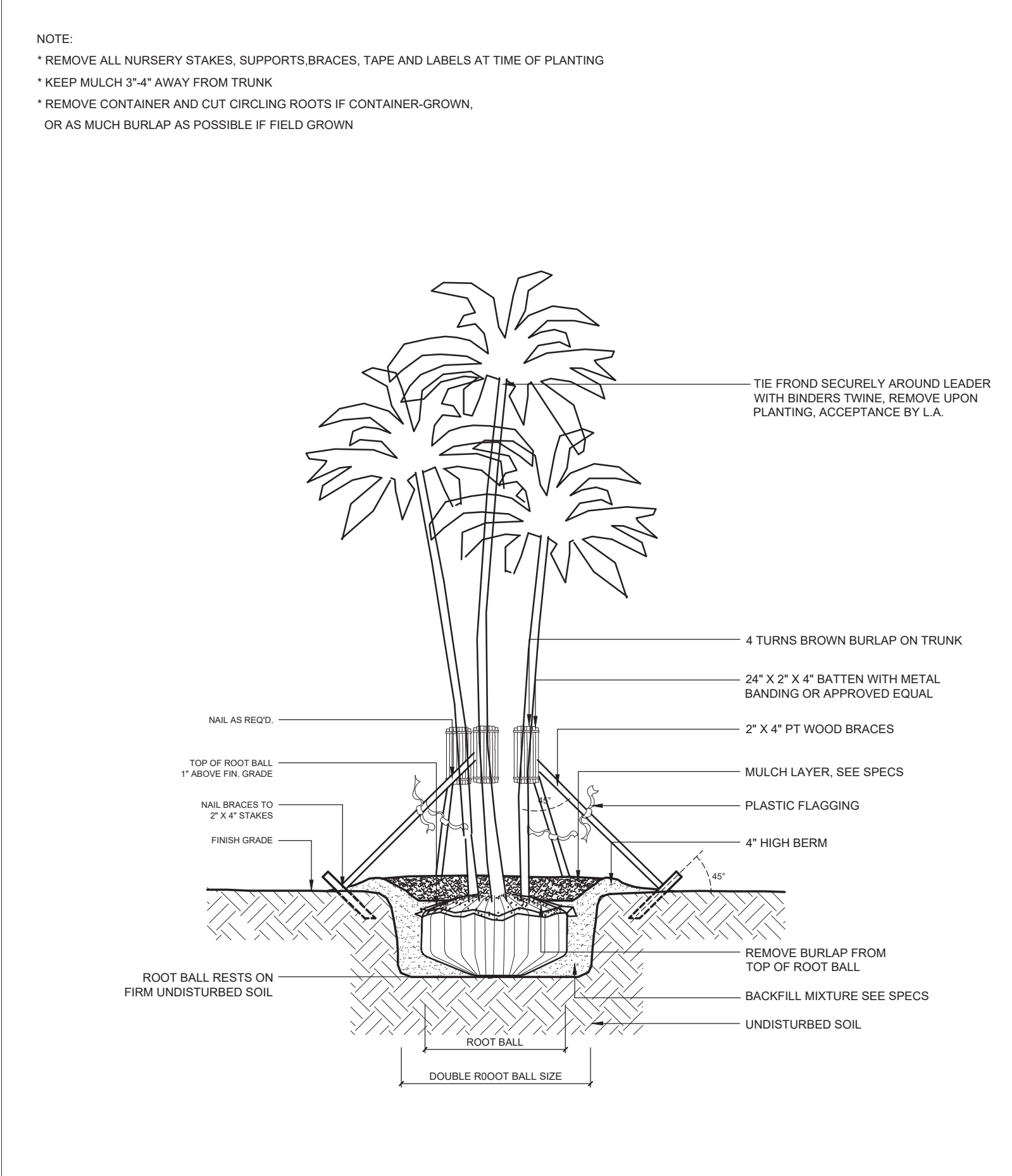
3 TYPICAL DETAIL: SHRUB PLANTING
 SCALE: NTS



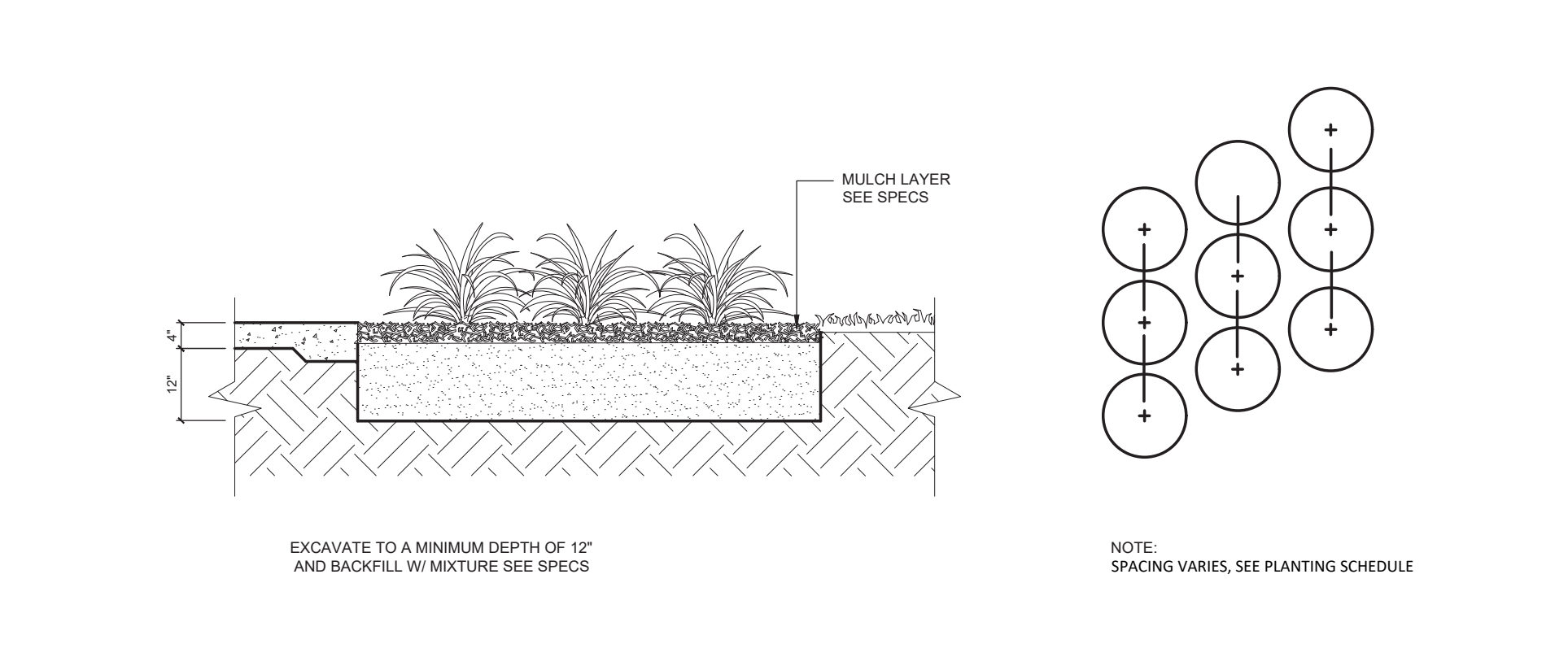
9 RIVERWALK CURVED PLANTER DETAIL
 SCALE: NTS



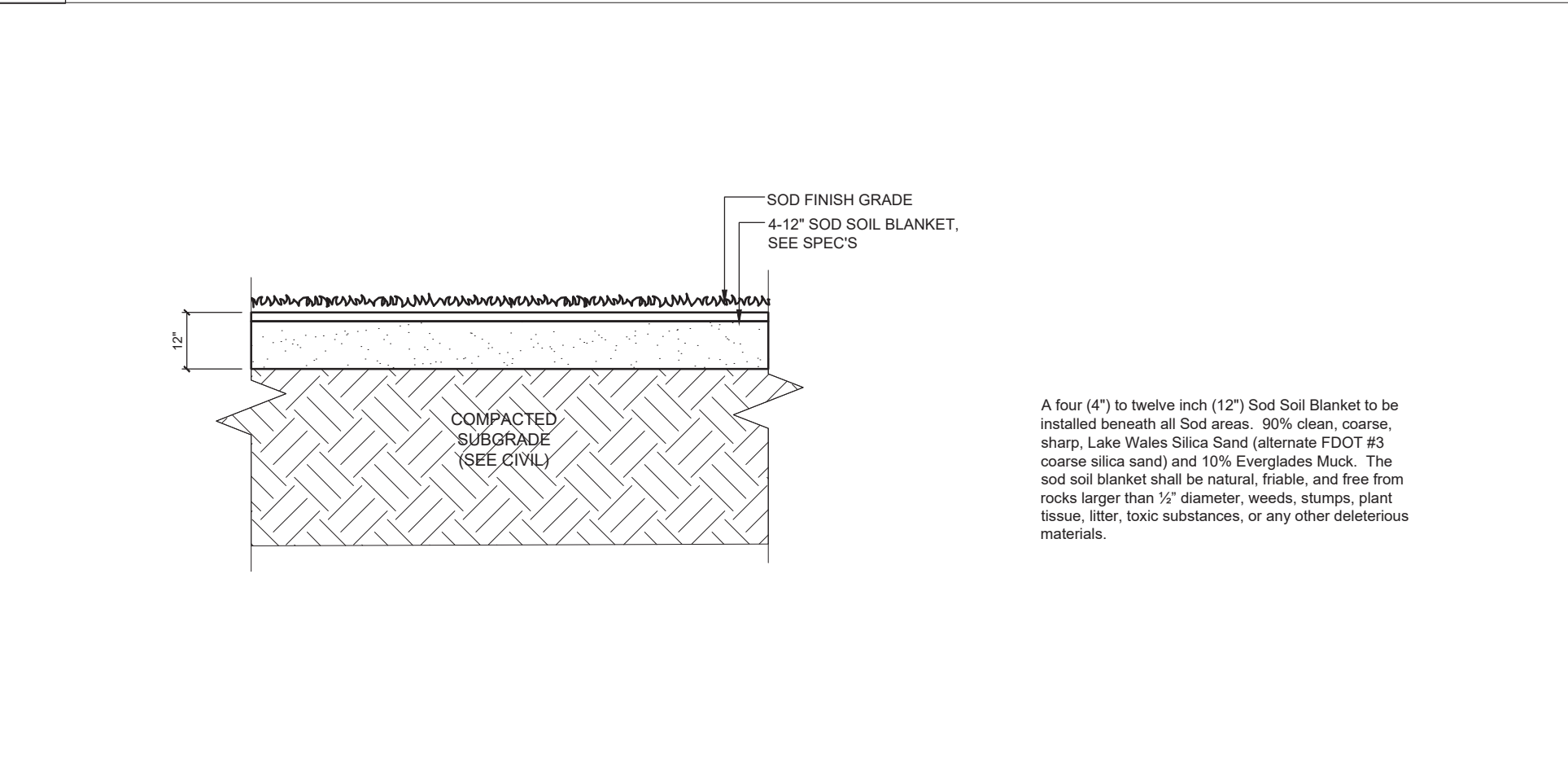
6 TYPICAL DETAIL: LARGE PALM PLANTING & STAKING
 SCALE: NTS



7 TYPICAL DETAIL: MULTI-TRUNK PALM PLANTING & STAKING
 SCALE: NTS



4 TYPICAL DETAIL: GROUNDCOVER AND SPACING
 SCALE: NTS



5 TYPICAL DETAIL: SOD
 SCALE: NTS

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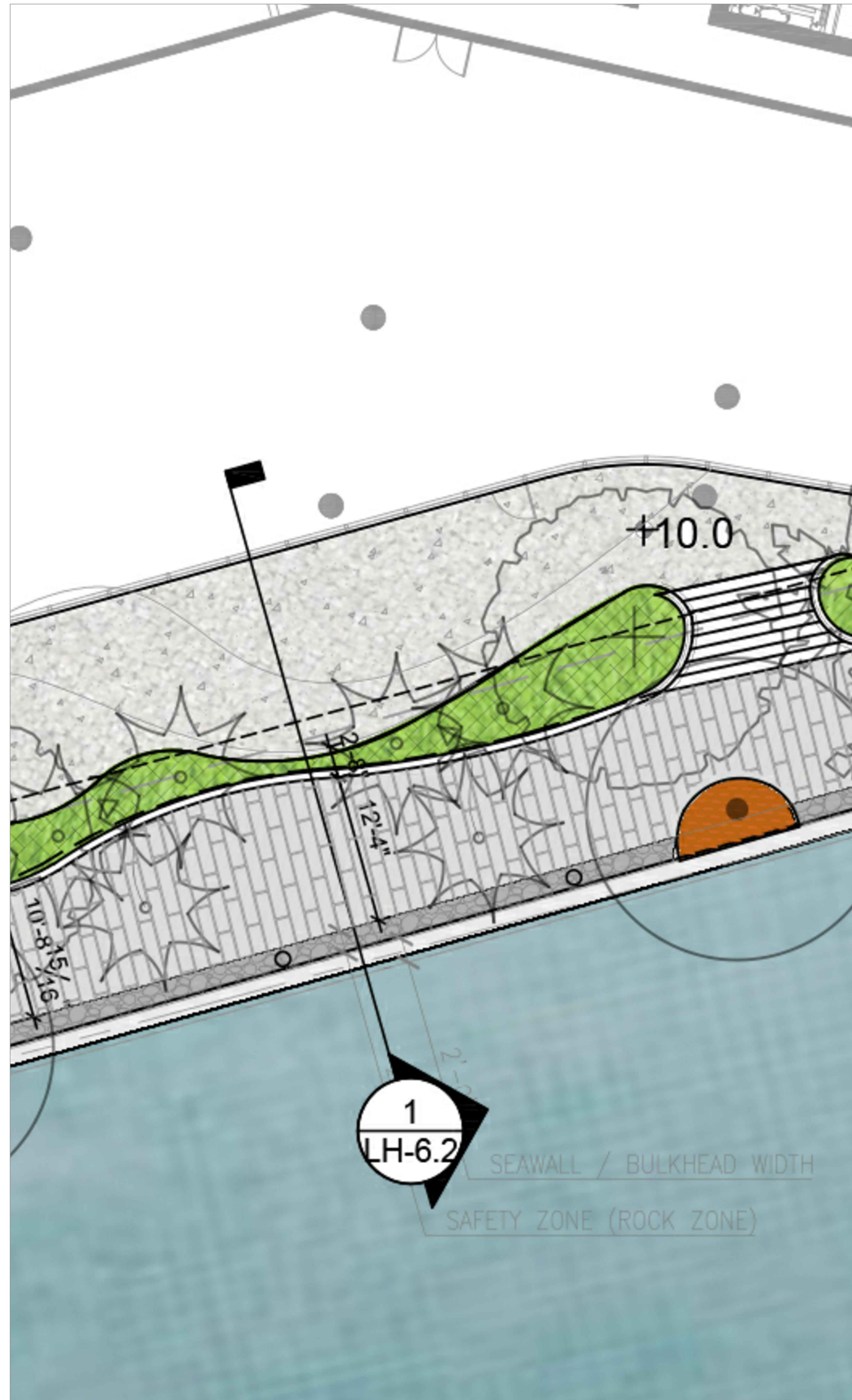
TYPICAL PLANTING DETAILS
 Scale: N.T.S.



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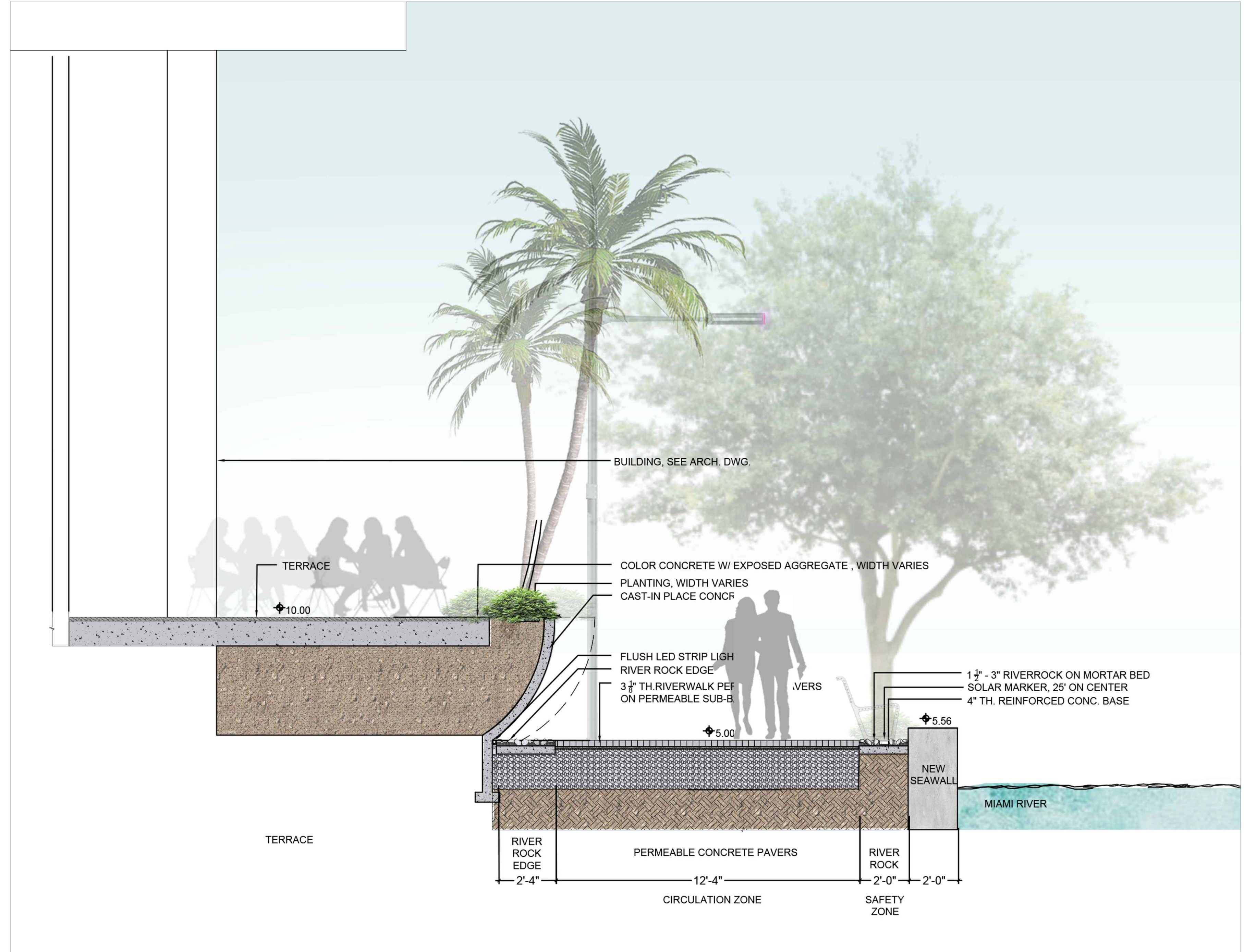
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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



1 RIVERWALK SECTION - CURVED PLANTER WALL W/ OUTDOOR DINING

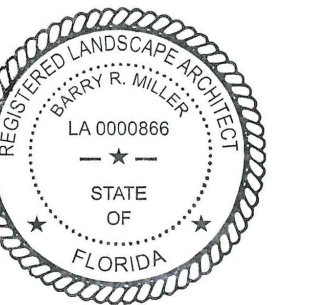
SCALE: 3/8" = 1'-0"

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RIVERWALK SECTIONS
Scale: N.T.S.



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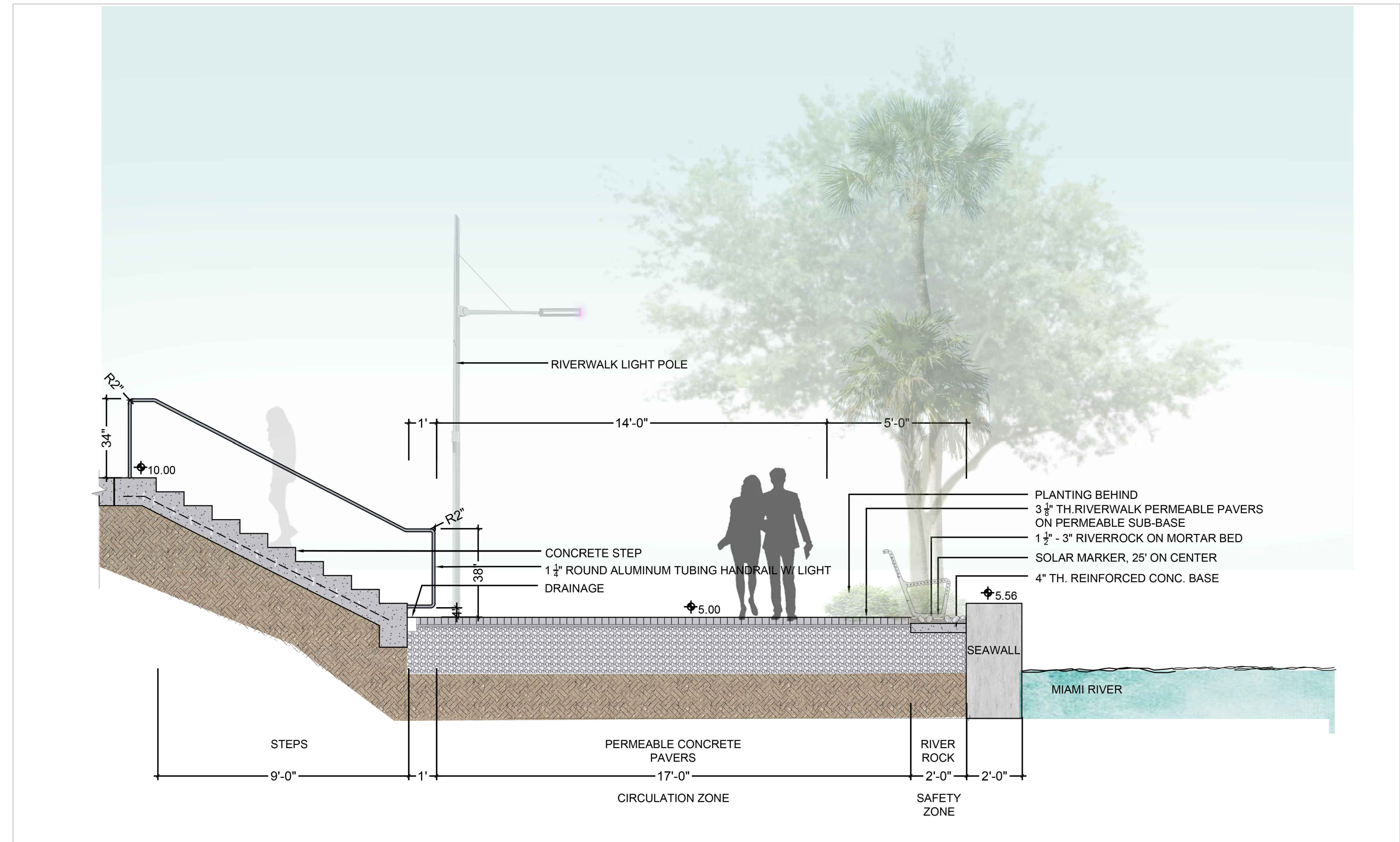
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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



2 RIVERWALK SECTION - STAIRS WITH DETECTIVE ROCKS

SCALE: 3/8" = 1'-0"

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RIVERWALK SECTIONS
Scale: N.T.S.



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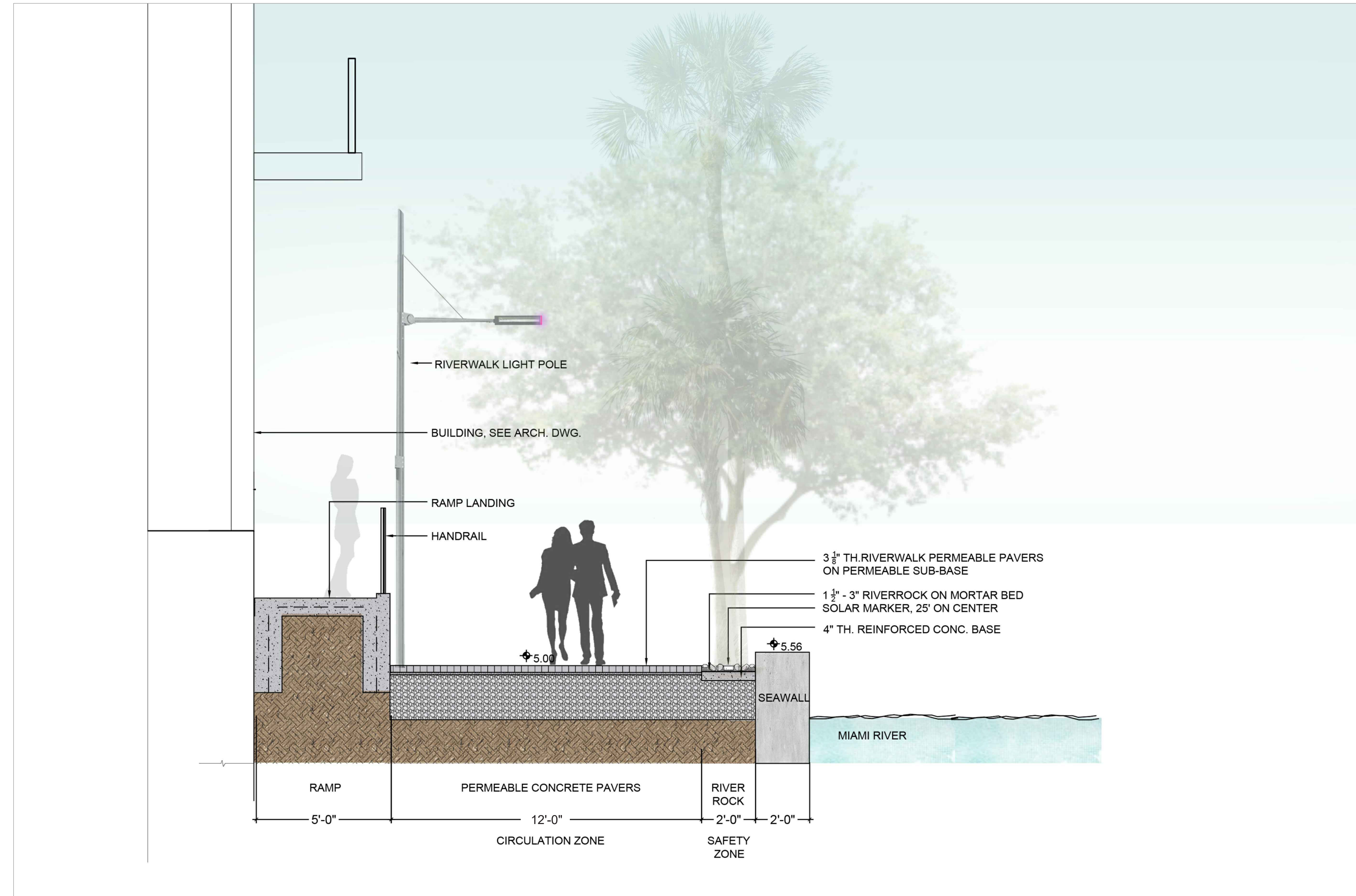
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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



3 RIVERWALK SECTION - THROUGH ADA RAMP

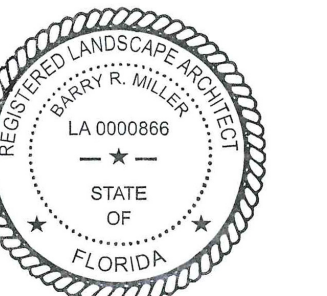
SCALE: 3/8" = 1'-0"

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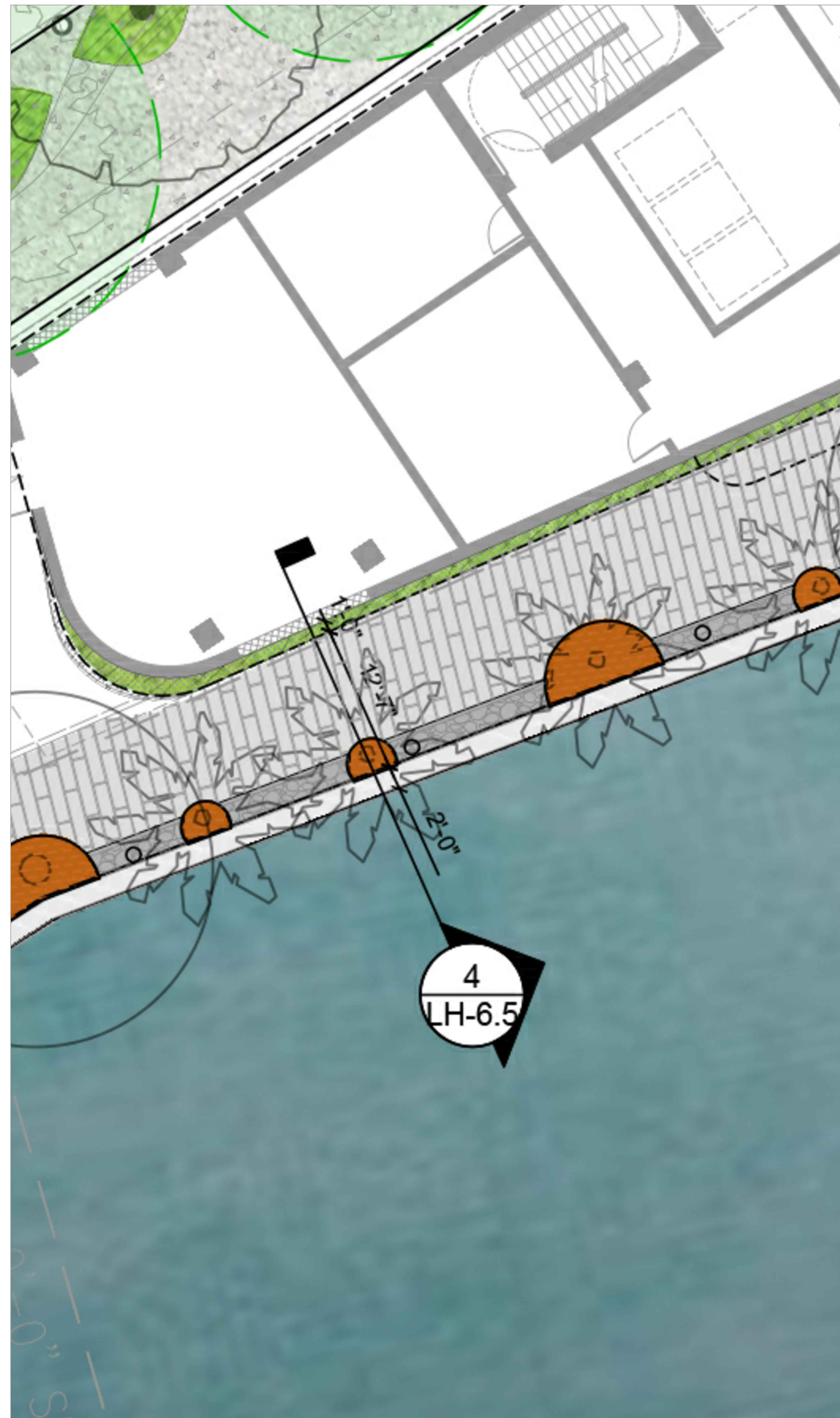
RIVERWALK SECTIONS
Scale: N.T.S.



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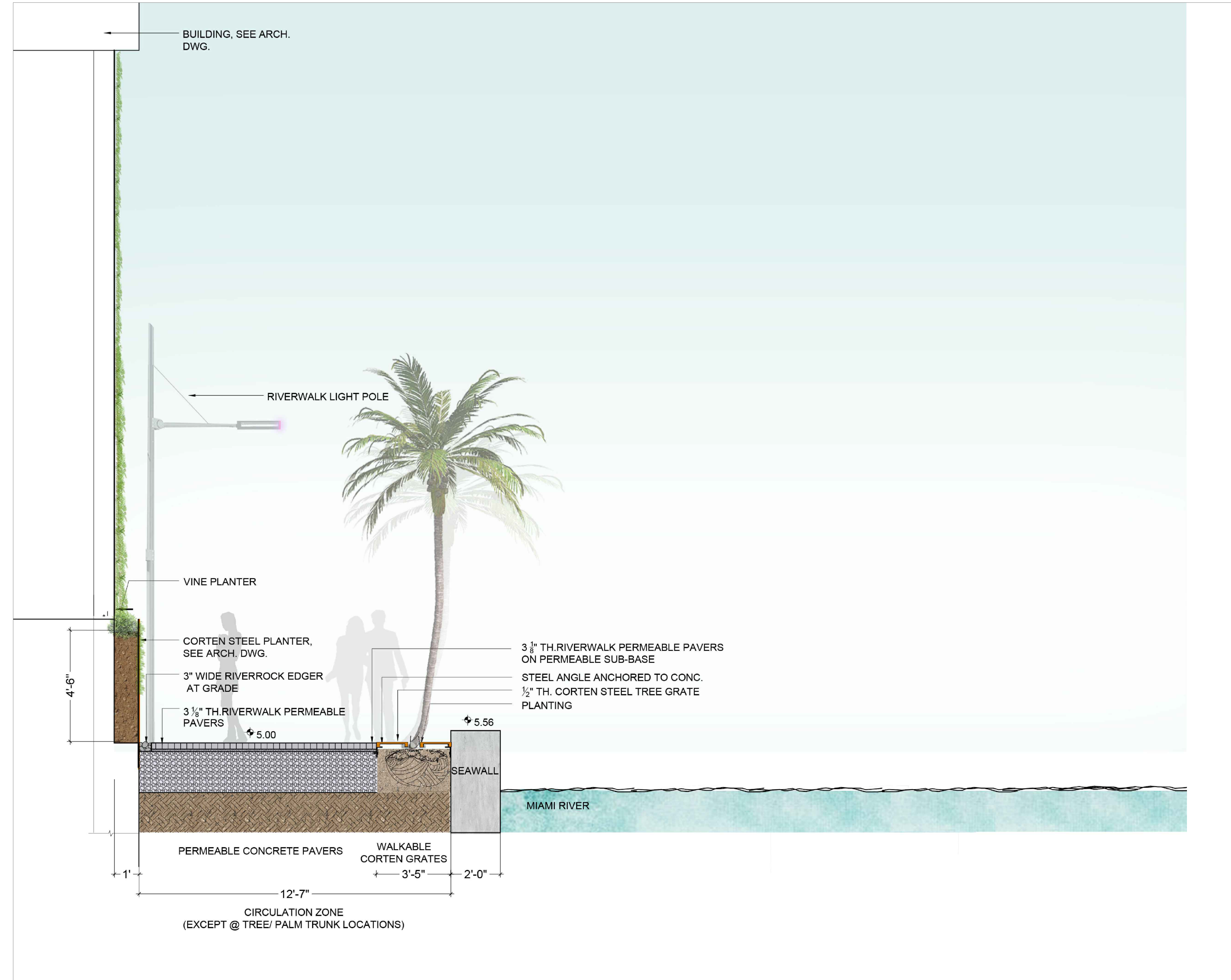
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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



4 RIVERWALK SECTION - THROUGH TREE GRATES

SCALE: 3/8" = 1'-0"

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RIVERWALK SECTIONS
Scale: N.T.S.



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